



Heritage Impact Assessments: 2024



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The assessments within this document have been completed by the Conservation Team at North Yorkshire Council. The preparation of the document has been managed by North Yorkshire Council Planning Policy Team in preparation of the Selby Local Plan.

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1.0 Selby Local Plan: Historic Environment Introduction

- 1.1 This document has been prepared by officers from North Yorkshire Council and sets out the methodology applied to considering the impact of site allocations on the Historic Environment. This methodology has ensured a consistent approach to identifying heritage assets which could be affected by potential allocations, recognising harm, identifying mitigation measures, maximising enhancement opportunities, and ensuring soundness in regard to the National Planning Policy Framework's test.
- 1.2 From the initial Site Assessment Methodology through to the production of the Heritage Impact Assessments, North Yorkshire Council have utilised a multi-step methodology which ensures harm to the historic environment is minimised and opportunities for enhancement are recognised. The suite of Heritage Impact Assessments in support of the Local Plan have been prepared by Conservation Officers within North Yorkshire Council.
- 1.3 The methodology as set out below, has been formulated and applied following consultation with Historic England. Further information on the Local Plans continued dialogue with Historic England can be sourced from the Selby Local Plan - Duty to Cooperate Statement. This process supports the inclusion of appropriate sites for development or regeneration (including those which could enhance the historic environment), justifies the omission of sites where there is identified harm, and informs clear criteria for sites that are acceptable in principle, within which they can be appropriately developed in terms of impact on heritage assets, for example, its size, design, or density.

2.0 Methodology

2.1 ***Step 1: GIS Desk Based Analysis***

- 2.1.1 In the first instance, the Local Plan sites have been screened, in accordance with step 1 of Historic England's (2015) Historic Environment and Site Allocations, guidance note 3. This process has identified all assets which may be affected by a potential site allocation. This step is a predominantly desk-based exercise which has used the Council's Geographic Information System (GIS) to assess and consider the proximity

of allocations to heritage assets. As set out within the Local Plan Site Assessment Methodology, this stage has screened sites which did not fail the initial sift, consistently and identified;

- where a heritage asset is within site (listed building or non-designated heritage asset), a site is within an asset (Conservation Area) or where a heritage asset is adjacent to an allocation site
- site is within 100m of asset
- site is within 250m of asset
- site is within 500m of asset

2.1.2 The maximum parameter of 500m has been set in line with guidance and advice provided by Historic England. This sift of sites based on the parameters set above, identified 157 land parcels within proximity to, or including an asset.

2.1.3 While officer judgement is central to this stage of the process, the 157 sites have then been reviewed by conservation expertise provided by Historic England to determine which sites require further analysis through a Heritage Impact Assessment.

2.2 Step 2: Sites beyond initial scoping

2.2.1 As set out within the Historic England advice note, buffer zones, and set distances are a useful starting point - but may not be appropriate or sufficient in all cases. Heritage assets that lie outside of these parameters may also need identifying and to be afforded careful consideration. For the purposes of the methodology, officers have identified sites where a site presents a clear definable relationship, with a site which has been identified within the previous scoping exercise. Secondly, officers have identified significantly sized urban extensions of over 500 dwellings. Within this process - two sites have been moved forward for an Impact Assessment outside of these above parameters.

2.2.2 This stage considered sites;

AROE-N, where the site is immediately north of AROE-I and may present a related, cumulative impact on the Conservation Area and;

EGGB-Y, which presents a large urban extension with an indicative dwelling capacity of 1500 dwellings by 2048 (approximately 1015 within the Local Plan Period of 2040). The site presents open and flat topography with distant views to distant assets.

2.3 Step 3: Archaeological Potential

2.3.1 While this report does not cover archaeological heritage assets in detail, it is notable that archaeological resources have been considered via Site Assessment question 2.17 (Site Assessment Methodology (SAM)). After an initial evaluation of the available baseline data, judgements on archaeological potential were additionally made. These were informed by consultation with North Yorkshire Council's Archaeological Advisor. A request was made for the sites to be screened in line with existing Historic Environment Record (HER) data and active information (e.g. information from pre-application processes, that may not yet be included in the HER).

2.3.2 This information was considered in relation to the pattern and significance of known assets (drawn from the Historic Environment Record and other data sources) in the vicinity of sites, as well as the land use history of the land parcel, to understand the level of potential and likely effect on the archaeological record. This undertaking relates to step one of Historic England's HEAN 3 guidance for the selection of site allocations: identify which heritage assets are affected by the potential site allocation.

2.4 Step: 4 Heritage Impact Assessments

2.4.1 The assessments in this document have been carried out by the North Yorkshire Council Conservation Officers with reference to the assessment methodology provided in Historic England publications, 'Good Practice Advice in Planning 2: Managing Significance in Decision-Taking in the Historic Environment (2015),' 'Good Practice Advice in Planning 3: The Setting of Heritage Assets (2017)' and 'Conservation Principles (2008)'. Also, where relevant, with reference to conservation area appraisals commissioned and adopted by the Council.

2.4.2 Heritage Impact Assessments have been carried out on sites identified as presenting heritage concerns via the Site Assessment Methodology. The requirement of an HIA has also been informed via consultation with Historic England and internal conservation expertise. Any sites which subsequently come forward for development outside of this process, would need to provide their own heritage impact assessment for consideration.

2.4.3 The Heritage Impact Assessments look in detail at the potential site allocation. The assessment identifies the impact development could have on the significance of an asset and the contribution of the site. The document sets out measures as to how such impacts can be mitigated or enhancements achieved. To ensure that the development of allocated sites takes place in a manner consistent with the conservation of the heritage assets in the vicinity, mitigation measures set out in the Heritage Impact Assessment are incorporated into the Local Plan site policies.

2.4.4 The heritage impact assessment process sets out;

- An identification of the heritage assets affected and their importance
- Assesses the contribution a site provides in its present form to the significance of the identified assets.
- Identifies the impact of potential development within the site allocation on the significance of heritage assets
- Considers mitigation measures to prevent harm and maximise enhancement

2.4.4 Significance is defined within the National Planning and Policy Framework (NPPF) as:

‘The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting.’

2.4.5 Heritage assets are grouped into two sections, those that are designated and those that are non-designated. Those included for assessment are those heritage assets that are potentially affected by the provision of development within the site allocation boundary.

2.4.6 Setting and the impact of any development was assessed using an understanding of the assets' significance, professional conservation judgement and consideration of the potential impact with the proposed development. In this way, it was possible to assess in what way and to what extent the development of the site would affect its contribution to an asset's significance.

2.4.7 For each asset, significance is identified, including how the site currently contributes to significance. The significance value of an asset is concluded with reference to the following hierarchy:

HIGH significance value

- ❖ Status and definition: Assets which can be demonstrated to have international or national significance and/or are of extraordinary or unique archaeological, architectural, artistic or historic merit. This includes Scheduled Ancient Monuments and other nationally important archaeology (Class I and II), all Listed Buildings at Grade I and II*, Registered Parks and Gardens at Grade I and II*, and non-designated structures of clear national importance.

MEDIUM significance value

- ❖ Status and definition: Assets with importance within a national or regional context due to special archaeological, architectural, artistic or historic interest. This includes Listed Buildings at Grade II, Registered Parks and Gardens at Grade II, Conservation Areas and non-designated assets of regional importance.

LESSER significance value

- ❖ Status and definition: Assets of local importance. Non-designated assets with modest archaeological, architectural, historic or artistic interest. Includes historic townscapes or landscapes of limited historic integrity (including any locally listed assets outside of conservation areas).

NEGLECTIBLE significance value

- ❖ Status and definition: Assets of limited local importance with little architectural or historic interest.

UNKNOWN significance value

- ❖ Status and definition: The importance of the asset has not been ascertained with the information available.

2.4.8 The impact of the development upon the significance of the heritage assets, is then assessed and the report presents how harmful impacts can be avoided or minimised with regards to the location and form of development. Where the exact form of development is not known, consideration is made of the potential form of development that may be put forward.

	<p>No or negligible impact</p> <p>A green score identifies no impact identified</p>
	<p>Minor impact</p> <p>A yellow score identifies a minor impact which can be mitigated against.</p>
	<p>Development impacts on a designated heritage asset or its setting and mitigation</p> <p>Amber score explains that development presents an impact on the significance of a heritage asset and mitigation is required.</p>
	<p>Significant adverse impact on setting of designated heritage assets or involve loss of heritage asset.</p> <p>Red explains that a development has a serious adverse impact. In some instances this may be unable to be mitigated against. It is notable that it doesn't always stop development but recognises that it is absolutely vital that development will only be acceptable if it is of demonstrable best quality design that preserves and enhances the heritage assets and their setting.</p>

2.4.9 In order to aid the assessment, map analysis is included to illustrate particular information. This includes views and identifies those part of the site area which have sensitivity in terms of potential impact on heritage assets (rated as red - areas of highest sensitivity / greatest impact, amber - areas of moderate sensitivity / greatest impact and green - areas of lesser sensitivity / minimal impact).

2.5 Step 5: From SAM to Policy

2.5.1 The methodology is an integrated process. The detailed assessment and evidence presented from the HIA process is fed back into a revised Local Plan Site Assessment Methodology (SAM) score, to reflect the latest evidence-based position.

2.5.2 Equally, the Heritage Impact Assessment will then feed into and inform the site policies. Suitable mitigation measures which are identified within the HIAs will be referred to within the Local Plan site policies. The detailed analysis identifies the impacts to heritage assets and considers mitigation requirements. Reference to these requirements in the HIA will be stated within the site policy requirements, to ensure mitigation is delivered.

2.5.3 As set out within Historic England, Guidance Note 3 - the level of detail required in a site allocation policy will depend on aspects such as the nature of the development proposed and the size and complexity of the site. Please see Table 1 (below) for a step-by-step scoring of the Local Plan sites at each stage of the Heritage Impact process.

2.5.4 Table 1 sets out the key site assessment process at each stage. Columns display the site location and Local Plan reference. The table then presents the allocation status of the site and the initial sifting assessments and assets identified. A summary of any identified impact is then provided along with assets effected, Historic England comments and recommendations followed by the Site Assessment scoring and any subsequent Impact Assessment and the scores ascribed.

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
North Hall Farm, Chapel Green, Appleton Roebuck	AROE-A	Rejected Site	Intersects with Conservation Area	Within 500m of SAM	Within 500m of a Listed Building		The site is located adjacent to Appleton Roebuck Conservation Area. The Conservation Area Appraisal identifies much of this land as making a strong contribution to the character and appearance of the conservation area. Development of this area could harm elements which contribute to the significance of this heritage asset.	D	Amber		
Land at Villa Farm, Main Street, Appleton Roebuck	AROE-C	Rejected Site	Within 100m of Conservation Area		Within 250m of a Listed Building		The site is 105 metres north of Appleton Roebuck Conservation Area. The Conservation Area Appraisal identifies this land as making some contribution to the character and appearance of the conservation area. Development of this area could harm elements which contribute to the significance of this heritage asset.	D	Amber		
Land West of Malt Kiln Lane, Appleton Roebuck	AROE-E	Rejected Site	Intersects with Conservation Area	Within 500m of SAM	Within 100m of a Listed Building		The large site is located adjacent to Appleton Roebuck Conservation Area. The Conservation Area Appraisal identifies the southern most part of	D	Amber		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							this site as making a strong contribution to the character and appearance of the conservation area. Development of this site in its entirety would significantly change the character of the village. Development of this area could harm elements which contribute to the significance of this heritage asset.				
Land East of Malt Kiln Lane, Appleton Roebuck	AROE-F	Rejected Site	Within 100m of Conservation Area	Within 500m of SAM	Within 500m of a Listed Building		The site is 135 metres northwest Appleton Roebuck Conservation Area.	F	Green		
Land at Therncroft Maltkiln Lane, Appleton Roebuck.	AROE-H	Rejected Site	Within 100m of Conservation Area	Within 500m of SAM	Within 500m of a Listed Building		The site is 90 metres northwest of Appleton Roebuck Conservation Area.	F	Green		
Land West of Northfield Avenue, Appleton Roebuck	AROE-I	Residential	Within 250m of Conservation Area	Within 500m of SAM	Within 250m of a Listed Building		The site is located adjacent to Appleton Roebuck Conservation Area. The Old Vicarage and The Maltings to the south of the site along Main Street are Grade II Listed Buildings, along with All Saints Church some 180 metres to the south east. Development of this area could harm elements which contribute to the	B & D	Amber	HIA Complete	Amber

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							significance of these heritage assets.				
Land adjacent to Hillcrest House, Colton Lane, Appleton Roebuck	AROE-K	Residential	Within 250m of Conservation Area		Within 500m of a Listed Building		The site is 125 metres northwest of Appleton Roebuck Conservation Area. The Conservation Area Appraisal identifies a large proportion of this land as making a strong contribution to the character and appearance of the conservation area. Development of this area could harm elements which contribute to the significance of this heritage asset.	D	Amber	HIA Complete	Amber
Land adjacent to Rosemary Garth, Villa Farm Way, Appleton Roebuck	AROE-M	Rejected Site	Intersects with Conservation Area	Within 500m of SAM	Within 100m of a Listed Building		The southern half of the site is within Appleton Roebuck Conservation Area. The Conservation Area Appraisal identifies the northern half of the site as making a strong contribution to the character and appearance of the conservation area. Development of this area could harm elements which contribute to the significance of this heritage asset.	D	Amber		
Therncroft, Maltkin Lane, Appleton Roebuck	AROE-N	Residential	Within 250m of Conservation Area	Within 500m of SAM	Within 500m of a Listed Building		The site is 142 metres north-west of Appleton Roebuck Conservation Area. The conservation	D	Amber	HIA Complete	Amber

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							area appraisal identifies the field as making some contribution to the character and appearance of the conservation area. Development of this area could harm elements which contribute to the significance of this heritage asset.				
Land West of Northfield Avenue, Appleton Roebuck	AROE-O	Rejected Site	Intersects with Conservation Area	Within 500m of SAM	Within 100m of a Listed Building		The site is located adjacent to Appleton Roebuck Conservation Area. The Old Vicarage and The Maltings to the south of the site along Main Street are Grade II Listed Buildings, along with All Saints Church some 180 metres to the south east. Development of this area could harm elements which contribute to the significance of these heritage assets.	B & D	Red	HIA Complete	Amber
Land North of Barlby Hall, York Road, Barlby	BARL-A	Rejected Site			Within 100m of a Listed Building		The site is adjacent to Barlby Hall, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	B	Amber		
Land at the Magazine, Barlby	BARL-E	Rejected Site			Contains Listed Buildings		The site contains a former War Department munitions depot, a Grade II Listed	B	Red		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							Building. Development of this area could harm elements which contribute to the significance of this heritage asset.				
Land at Turnhead Farm, Barlby	BARL-H	Rejected Site					Whilst there are no designated heritage assets in the vicinity of the site that are likely to be affected by development the area shows signs of archaeological potential. A proportionate archaeological assessment should be undertaken before allocating this site.	n/a	Amber		
Land south of Market Weighton Road, Barlby	BARL-I	Rejected Site					Whilst there are no designated heritage assets in the vicinity of the site that are likely to be affected by development the area shows signs of archaeological potential. A proportionate archaeological assessment should be undertaken before allocating this site.	n/a	Amber		
Land north of Market Weighton Road, Barlby	BARL-J	Rejected Site					Whilst there are no designated heritage assets in the vicinity of the site that are likely to be affected by development the area shows signs of archaeological potential. A proportionate archaeological assessment	n/a	Amber		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							should be undertaken before allocating this site.				
Land at Turnhead Farm, Barlby	BARL-K	Residential					No impact on designated heritage assets.	n/a	Green		
Land off York Road, Barlby	BARL-L	Rejected Site					Whilst there are no designated heritage assets in the vicinity of the site that are likely to be affected by development the area shows signs of archaeological potential. A proportionate archaeological assessment should be undertaken before allocating this site.	n/a	Amber		
Land to the south of Riccal Airfield employment site	BARL-P	Rejected Site					There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land south of A63 and east of A19 (Doncaster Road) to the south of Brayton.	BRAY-AA	Rejected Site			Within 100m of a Listed Building		The site is around 200 metres west of Brayton Tunnel on the Selby Canal, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	C	Green		
Land to east of Foxhill Lane and north of Brayton Community Centre, Brayton.	BRAY-AB	Rejected Site	Partially Within Conservation Area		Within 250m of a Listed Building		The site is within Brayton Conservation Area and close to the Grade I Listed Church of St Wilfrid and Grade II Listed Vicarage. The Conservation Area Appraisal identifies this	A, B & D	Red		

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							land as making some contribution to the character and appearance of the area. Development of this area could harm elements which contribute to the significance of these heritage assets.				
Land South of A63, East of A19	BRAY-AC	Rejected Site			Within 500m of a Listed Building		The site is adjacent to the Brayton Tunnel on the Selby Canal, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	C	Green		
Land South of Brackenhill Lane, Brayton	BRAY-B	Rejected Site	Within 500m of Conservation Area		Within 500m of a Listed Building		The site is 500 metres west of Brayton Conservation Area.	F	Green		
Land East of Foxhill Lane, Brayton	BRAY-D	Rejected Site	Entirely Within Conservation Area		Within 100m of a Listed Building		The site is within Brayton Conservation Area and adjacent to the Grade I Listed Church of St Wilfrid and Grade II Listed Vicarage. The Conservation Area Appraisal identifies this land as making a strong contribution to the character and appearance of the area. Development of this area could harm elements which contribute to the significance of these heritage assets.	A, B & D	Red		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Land East of Ness Bank Close, Brayton	BRAY-F	Rejected Site	Within 100m of Conservation Area		Within 250m of a Listed Building		The north end of the site is adjacent to Brayton Conservation Area which contains the Grade I Listed Church of St Wilfrid. Brayton Bridge, a Grade II Listed Building, is 130 metres east of the southern end of the site along Brayton Lane. Development of this area could harm elements which contribute to the significance of these heritage assets.	C & F	Green		
Land north of Barff Lane, Brayton	BRAY-G	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land east of Meadowcroft, Brayton	BRAY-J	Rejected Site	Intersects with Conservation Area		Within 100m of a Listed Building		The site is within Brayton Conservation Area and adjacent to the Grade I Listed Church of St Wilfrid. The Vicarage, a Grade II Listed Building, is also some 125 metres to the north of the site. The Conservation Area Appraisal identifies this land as making no or negligible contribution to the character and appearance of the area. The site contains a medieval moated site. Development of this area could harm elements	A, B & D	Red		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							which contribute to the significance of these heritage assets.				
Land east of Linton Close, Brayton	BRAY-K	Rejected Site	Within 500m of Conservation Area		Within 100m of a Listed Building		The northeast corner of the site is adjacent to Brayton Bridge, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	C	Green		
Land South of Barff Lane, Brayton	BRAY-Q	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land at Brayton Hall	BRAY-R	Rejected Site	Within 500m of Conservation Area		Within 250m of a Listed Building		Brayton Bridge, a Grade II Listed Building, is around 260 metres northeast of the sites eastern boundary along Brayton Lane. Development of this area could harm elements which contribute to the significance of this heritage asset.	C	Green		
Land south of Mill Lane, Brayton	BRAY-S	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land north of Mill Lane, Brayton	BRAY-X	Residential					No impact on designated heritage assets.	n/a	Green		
Land south west of A63/A19 roundabout, Brayton	BRAY-Y	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land off St. Wilfred's Close	BRAY-Z	Residential					No impact on designated heritage assets.	n/a	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Land at Pasture Lane, Brotherton	BROT-B	Rejected Site			Within 250m of a Listed Building		The site is 135 metres northwest of The Manor House, a Grade II Listed Building.	C	Green		
Land at North East side of Low Street, Brotherton	BROT-D	Rejected Site			Within 500m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Burn Airfield	BURN-G	Rejected Site			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development. However, the site is likely to contain archaeological features relating to its use as a military airfield. An appropriate and proportionate archaeological assessment should inform any proposals for the development of this site.	n/a	Green		
Land adjacent to Parkwood farm, Selby Road, Camblesforth	CAMB-A	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land at New Oak Farm, Cambelsforth	CAMB-B	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land north of Beech Grove, Cambelsforth	CAMB-C	Rejected Site			Within 100m of a Listed Building		The site wraps around to the north and west of Camblesforth Hall, a Grade I Listed Building, and its associated Grade II Listed	A & B	Red	HIA Complete	Red

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							Dovecote. Development of this area has the potential to cause substantial harm to elements which contribute to their significance.				
Land north of Beech Grove, Camblesforth	CAMB-G	Rejected Site			Within 250m of a Listed Building		The site is 195 metres west of Camblesforth Hall, a Grade I Listed Building, and its associated Grade II Listed Dovecote. Development of this area could harm elements which contribute to the significance of these heritage assets.	A & B	Red	HIA Complete	Amber
Land north of Mill Lane, Carlton	CARL-G	Residential			Within 500m of a Listed Building		The site is adjacent to the designed landscape setting to Carlton Towers, a Grade I Listed Building.	C	Green	HIA Complete	Amber
Land adj to Holray Park, Carlton Selby	CARL-I	Rejected Site			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development	n/a	Green		
Land West of Low Street and south of Hirst Road	CARL-J	Rejected Site			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development	n/a	Green		
Land to the north of Holy Family School & east of Station Road	CARL-K	Rejected Site					No impact on designated heritage assets.	n/a	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Land North of Lynwith Close and Columbine Grove	CARL-L	Rejected Site			Within 500m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development	n/a	Green		
Land at Park Farm, Carlton	CARL-M	Rejected Site			Within 500m of a Listed Building		The site forms part of the designed landscape setting to Carlton Towers, a Grade I Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	A	Amber	HIA Complete	
Land to the west of Holy Family School and Station Road	CARL-N	Rejected Site			Within 500m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development	n/a	Green		
Land South of Mill Lane, Carlton	CARL-O	Rejected Site			Within 250m of a Listed Building		The eastern half of this site forms part of the designed landscape setting to Carlton Towers, a Grade I Listed Building. The site is also 90 metres northeast of the Grade II Listed Church of St Mary. Development of this area could harm elements which contribute to the significance of this heritage asset.	A & B	Amber	HIA Complete	
Land north of Mill Lane, Carlton	CARL-P	Rejected Site			Within 500m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development	n/a	Green		

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Land off Castle Close, Cawood	CAWD-D	Rejected Site	Within 250m of Conservation Area	Within 250m of SAM	Within 250m of a Listed Building		The site is and 140 metres east of Station Farmhouse, a Grade II Listed Building, and 190 metres east of Cawood Conservation area. Due to distance and the presence of intervening buildings, development of this site of a similar scale to surrounding buildings is unlikely to affect these heritage assets.	C & F	Green		
Field at Broad Lane, Cawood	CAWD-I	Rejected Site	Within 250m of Conservation Area	Within 250m of SAM	Within 500m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development	n/a	Green		
Land south east of Cawood off Bishop Dyke Road/Broad Lane	CAWD-J	Rejected Site	Within 100m of Conservation Area	Within 100m of SAM	Within 100m of a Listed Building		The site is adjacent to Station Farmhouse, a Grade II Listed Building. The site is also 90 metres south of Cawood Conservation Area and Cawood Castle and Castle Garth Scheduled Monument. Development of this area could harm elements which contribute to the significance of these heritage assets.	B, F & H	Amber		
Rear of Wolsey Avenue, Cawood	CAWD-K	Rejected Site	Within 250m of Conservation Area	Within 250m of SAM	Within 250m of a Listed Building		The site is and 110 metres east of Station Farmhouse, a Grade II Listed Building, and 135 metres east of Cawood Conservation area.	C & F	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
RAF Church Fenton, Church Fenton (Ulleskelf Parish)	CFAB-A	Rejected Site		Intersects with SAM			The site includes a Scheduled Monument consisting of the World War II airfield defences at RAF Church Fenton. The Scheduled Monument includes a series of dispersed fighter pens, a pillbox, two gun posts and a battle headquarters used for coordinating the ground defence of the airfield, together with remains of some support buildings and sections of the perimeter runway and taxiing areas. The monument is divided into eight separate areas of protection, six of which are located around the south side of the airfield, with the remaining two either side of the runway in the northern half of the airfield. RAF Church Fenton was the most important of the northern airfields, as indicated by the four decoy airfields which make up its wider defence landscape context, and is one of the few airfields where the Battle of Britain defences still survive. Development of this area is likely to harm	G	Red	HIA Completed	Red

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							elements which contribute to the significance of the Scheduled Monument.				
Land North of Gate Bridge, Main Street, Church Fenton	CFEN-A	Rejected Site		Within 500m of SAM	Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land North of Station Road, Church Fenton	CFEN-H	Rejected Site			Within 250m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land west of Northfield Lane, Church Fenton	CFEN-I	Rejected Site			Within 100m of a Listed Building		The site is 75 metres northeast of Ingledene, a Grade II Listed Building.	C	Green		
Land west of Busk lane, Church Fenton	CFEN-J	Rejected Site		Within 250m of SAM	Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land South of Hall Lane, Church Fenton	CFEN-R	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land to north of Station Road, Church Fenton	CFEN-S	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
The Orchards, Church Fenton	CFEN-U	Rejected Site			Within 100m of a Listed Building		The site is 55 metres southwest of the Church of St Mary the Virgin, a Grade I Listed Building, and its associated Grade II Listed shaft of cross south of the transept.	A & B	Amber		
Land adjacent Kennel Garth	CFEN-V	Rejected Site					No impact on designated heritage assets.	n/a	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Farm, Church Fenton											
Land south of Brackenhill Lane, Church Fenton, Selby	CFEN-W	Rejected Site		Within 100m of SAM			The site is 30 metres south of part of the World War II airfield defences at RAF Church Fenton, A Scheduled Monument. Development of this area could harm elements which contribute to the significance of this heritage asset.	H	Amber		
Land west of Broad Lane, Biggin, Little Fenton	CFEN-X	Rejected Site					There are no designated heritage assets in the vicinity of the site that are likely to be affected by development	n/a	Green		
Land to the north of the A63, Cliffe, adjacent to Garth House, Hemingbrough	CLIF-AA	Rejected Site	Within 500m of Conservation Area		Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land to the north of the A63, Cliffe	CLIF-AB	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Chapel Field, Cliffe	CLIF-AD	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land at Bon Accord Farm, Cliffe	CLIF-B	Residential			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Land east of York Road, Cliffe	CLIF-C	Rejected Site			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land off Fenwick Lane, Cliffe	CLIF-D	Rejected Site			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Whitemoor Business Park, Cliffe Common, Cliffe	CLIF-E	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land South of Station Lane, Cliffe	CLIF-F	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land North of Turnham Lane, Cliffe	CLIF-H	Rejected Site			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land north of Cliffe Primary School, Main Street, Cliffe	CLIF-O	Residential			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land West of Broadlands, Hull Road, Lund (Cliffe)	CLIF-P	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land on south side of A163, either side of High Common Farm	CLIF-Q	Rejected Site					No impact on designated heritage assets.	n/a	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Land on west side of Lowmoor Road	CLIF-R	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land at Cliffe Cottages Field	CLIF-S	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land at Green Lane Farm	CLIF-T	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land to the south of Station Lane, Cliffe and north of the A63	CLIF-U	Rejected Site			Within 250m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land to the south of Turnham Lane, Cliffe	CLIF-V	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land to the north of the A63, Cliffe	CLIF-W	Rejected Site			Within 250m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land to the north of the A63, Cliffe	CLIF-X	Rejected Site			Within 250m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land at Four Acres, South Duffield Road, Cliffe Common, Cliffe, Selby, North Yorkshire	CLIF-Y	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land at Eggborough Power Station	EGGB-AA	Employment			Within 500m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Former ARBRE Power Station,	EGGB-AB	Rejected Site			Within 500m of a		There are no designated heritage assets in the	n/a	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Selby Road, Eggborough					Listed Building		vicinity of the site that are likely to be affected by development.				
Teasle Hall Farm, Weeland Road, Eggborough	EGGB-AC	Rejected Site					There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land West of White House Farm, Low Eggborough Road, Eggborough	EGGB-B	Residential					No impact on designated heritage assets.	n/a	Green	Conservation comments state no concerns	
Land at Tranmore Lane, Eggborough	EGGB-K	Rejected Site			Within 500m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Teasle Hall Farm, Weeland Road, Eggborough	EGGB-S	Residential					No impact on designated heritage assets.	n/a	Green		
Land East of Selby Road / South of North point business park	EGGB-T	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land West of Kellington Lane, Eggborough	EGGB-Y	Residential			Within 500m of a Listed Building		The Church of St Edmund, 500 metres to the north west of this site, is a Grade I Listed Building. The gate piers and churchyard cross are also Grade II Listed. Kellington Windmill, a Grade II Listed Building, is also located 460 metres west of the site along Weeland Road. Both	C	Green	HIA Complete	Amber

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							buildings are prominent in the surrounding landscape.				
Land to the rear of Glenholme, Kellington Lane, Eggborough	EGGB-Z	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Manor Farm, Chapel Street, Hambleton	HAMB-A	Residential			Within 100m of a Listed Building		The site is adjacent to Garth House, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	B	Amber	HIA Complete	Amber
Land West of Bar Lane, Hambleton	HAMB-C	Rejected Site			Within 100m of a Listed Building		The site is adjacent to a Grade II Listed milestone approximately 200 metres west of Bar Lane.	C	Green		
Land east of Common Lane and west of Station Road, Hambleton	HAMB-D	Rejected Site			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land North of Main Road, Hambleton	HAMB-F	Residential			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land east of Gateforth Lane, Hambleton	HAMB-N	Residential			Within 250m of a Listed Building		The Old Vicarage, 180 metres to the north of this site, is a Grade II Listed Building.	C	Green	Historic England have not recommended that HIA is necessary as part of review of sites - subject to	

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
										appropriate site policies	
Land east of Gateforth Lane, Hambleton	HAMB-S	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land east of Gateforth Lane, Hambleton	HAMB-T	Rejected Site			Within 250m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land at Royal Oak, Hirst Courtney	HCOU-A	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land west of Long Lane, Heck	HECK-D	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Pollington	HECK-F	Rejected Site					Whilst there are no designated heritage assets in the vicinity of the site that are likely to be affected by development the area shows signs of archaeological potential. A proportionate archaeological assessment should be undertaken before allocating this site.	n/a	Green		
Land at chapel Fields, Hemingbrough	HEMB-AA	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land at Chantry Field, Hemingbrough	HEMB-AB	Rejected Site	Within 500m of Conservation Area		Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
The old Brickyard, Hemingbrough	HEMB-AC	Rejected Site	Within 500m of Conservation Area		Within 250m of a		No impact on designated heritage assets.	n/a	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
					Listed Building						
Brickyard Field; land to the north of the A63 at Hemingbrough	HEMB-AD	Rejected Site	Within 250m of Conservation Area		Within 250m of a Listed Building		The Villa, a Grade II Listed Building, is 95 meters south of the site.	C	Green		
Land adjoining Hemingbrough Hall, School Road, Hemingbrough	HEMB-AE	Rejected Site	Within 500m of Conservation Area		Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land West of Chapel Balk Lane, Hemingbrough	HEMB-C	Rejected Site	Within 500m of Conservation Area				No impact on designated heritage assets.	n/a	Green		
Land to the south of School Road, Hemingbrough	HEMB-G	Residential	Within 250m of Conservation Area		Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land to the west of Mill Lane and South of Orchard End, Hemingbrough	HEMB-I	Rejected Site	Within 250m of Conservation Area		Within 500m of a Listed Building		Hemingbrough Conservation Area is located 215 metres to the north of the site.	F	Green		
Land East of Mill Lane, Hemingbrough	HEMB-J	Rejected Site	Within 250m of Conservation Area		Within 500m of a Listed Building		Hemingbrough Conservation Area is located 210 metres to the north west of the site.	F	Green		
Land south of School Road, Hemingbrough	HEMB-K	Residential					No impact on designated heritage assets.	n/a	Green		
Land East of Poorlands Road, Hemingbrough	HEMB-L	Rejected Site	Within 500m of Conservation Area		Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land west of Selchant Gardens, Hemingbrough	HEMB-O	Rejected Site	Within 500m of Conservation Area		Within 500m of a		No impact on designated heritage assets.	n/a	Green		

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					Listed Building						
Land at A63, Hemingbrough	HEMB-S	Rejected Site	Within 250m of Conservation Area		Within 250m of a Listed Building		Hemingbrough Conservation Area is located 200 metres to the southwest of the site.	F	Green		
Land between Barmby Ferry Road and Chapel Balk Road, Hemingbrough	HEMB-V	Rejected Site	Within 500m of Conservation Area		Within 500m of a Listed Building		Hemingbrough Conservation Area is located 215 metres to the north of the site.	F	Green		
The Coach Station, Hull Road, Hemingbrough	HEMB-Y	Rejected Site	Within 500m of Conservation Area		Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land south of School Road, Hemingbrough	HEMB-Z	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land to North of Weeland Road, Hensall	HENS-A	Residential			Within 100m of a Listed Building		Two Grade II* Listed Buildings are located to the south of the site, The Red House and Church of St Paul. The Grade II Listed Hensall Primary School Schoolmaster's House also lies to the south of the site. Development of this area could harm elements which contribute to the significance of these heritage assets.	A & B	Red	HIA Complete	
A19 Caravan Storage Ltd, Hazel Old Lane, Hensall	HENS-B	Rejected Site					No impact on designated heritage assets.	n/a	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Land East of Heck Lane, Hensall	HENS-C	Rejected Site			Within 100m of a Listed Building		Hensall House, a Grade II Listed Building, is located 75 metres north of the site.	C	Green		
Land north of Dovecote Gardens, Hensall	HENS-H	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land south of Field Lane, Hensall	HENS-J	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land adjacent to Dene Close, Hensall	HENS-K	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land north of Wand Lane, Hensall	HENS-L	Residential			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land south of Field Lane, Hensall	HENS-M	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land at Main Street, Hensall	HENS-N	Rejected Site			Within 100m of a Listed Building		Hensall House, a Grade II Listed Building, is located 85 metres west of the site.	C	Green		
Land South of Station Road, Hensall	HENS-P	Residential			Within 250m of a Listed Building		Hensall Signal Box, a Grade II Listed Building, is located 100 metres southwest of the site.	C	Green		
Land north of Ashleigh, Hensall	HENS-Q	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		

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Land West of Ings Lane, Hensall	HENS-R	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land south of Weeland Road, Weeland Road	HENS-T	Rejected Site			Within 100m of a Listed Building		Two Grade II* Listed Buildings are located to the south of the site, The Red House and Church of St Paul. The Grade II Listed Hensall Primary School Schoolmaster's House also lies to the south of the site. Development of this area could harm elements which contribute to the significance of these heritage assets.	A & B	Red		
Land south of Weeland Road, Weeland Road,	HENS-U	Rejected Site			Within 100m of a Listed Building		Two Grade II* Listed Buildings are located to the southeast of the site, The Red House and Church of St Paul. The Grade II Listed Hensall Primary School Schoolmaster's House also lies to the southeast of the site. Development of this area could harm elements which contribute to the significance of these heritage assets.	A & B	Red		
Land north of Wand Lane, Hensall	HENS-W	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land South of Station Road, Hensall	HENS-X	Rejected Site			Within 250m of a		Hensall Signal Box, a Grade II Listed Building, is located	C	Green		

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					Listed Building		180 metres southwest of the site.				
Land West of Main Street, Hillam	HILL-A	Residential	Intersects with Conservation Area		Within 500m of a Listed Building		The south east corner of the site is within the Hillam Conservation Area. Its loss and subsequent development could harm elements which contribute to the significance of the Conservation Area.	D	Amber	HIA Complete	Amber
Orchard Farm, Hillam	HILL-F	Rejected Site	Intersects with Conservation Area		Within 100m of a Listed Building		The westernmost end of the site is within the Hillam Conservation Area and is close to several. Development of this area could harm elements which contribute to the significance of these heritage assets.	B & F	Amber		
Land east of Betteras Hill Road, Hillam	HILL-I	Rejected Site	Intersects with Conservation Area		Within 500m of a Listed Building		The site is adjacent to Hillam Conservation Area. Its loss and subsequent development could harm elements which contribute to the significance of the Conservation Area.	D	Amber		
Institute Field, Riccall Lane, Kelfield	KELF-A	Rejected Site		Within 100m of SAM	Within 100m of a Listed Building		The site is 35 metres southeast of Corner Farmhouse, a Grade II Listed Building, and 90 metres southeast of the Kelfield moated site and fishpond Scheduled Monument. Development of this area could harm elements which contribute	B & H	Amber		

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							to the significance of these heritage assets.				
Land off Roall Lane and Uppercommon Lane	KELL-A	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land off Church Lane and Lunn Lane	KELL-B	Residential			Within 250m of a Listed Building		The site is 165 metres northeast of the Church of St Edmund, is a Grade I Listed Building. The gate piers and churchyard cross are also Grade II Listed. Development of this area could harm elements which contribute to the significance of these heritage assets.	A & B	Amber	HIA Complete	Amber
Land on West side of Broach Lane	KELL-E	Rejected Site			Within 500m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land east of Manor Garth, Kellington	KELL-G	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land off Church Lane and Lunn Lane	KELL-H	Rejected Site			Within 250m of a Listed Building		The Church of St Edmund, less than 200 metres to the south west of this site, is a Grade I Listed Building. The gate piers and churchyard cross are also Grade II Listed. Development of this area could harm elements which contribute to the significance of these heritage assets.	A & B	Amber		

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Land north of Fryston Common Lane, Monk Fryston	MFRY-E	Rejected Site	Intersects with Conservation Area		Within 250m of a Listed Building		The site is within Monk Fryston Conservation Area and 240 metres east of Monk Fryston Hall, a Grade II* Listed Building. Two further Grade II Listed Buildings associated with the hall, consisting of the lodge building, gates, gatepiers, railing and wall, are 165 metres south-west of the site along Fryston Common Lane. The Conservation Area Appraisal identifies this land as making a strong contribution to the character and appearance of the area. Development of this area could harm elements which contribute to the significance of these heritage assets.	A, B & D	Red		
Land at North Priory Park Farm, Monk Fryston	MFRY-N	Rejected Site					There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	F	Green		
122 Main Street, Monk Fryston	MFRY-T	Rejected Site	Intersects with Conservation Area		Within 250m of a Listed Building		The site is within Monk Fryston Conservation Area and 180 metres east of Monk Fryston Hall, a Grade II* Listed Building. The Conservation Area Appraisal identifies this land as making a strong	A & D	Red		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							contribution to the character and appearance of the area. Development of this area could harm elements which contribute to the significance of these heritage assets.				
Land to the West and South of Meadow Gate, North Duffield	NDUF-B	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land South of A163 and East of Menthorpe Lane, North Duffield	NDUF-C	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land North of A163, North Duffield	NDUF-D	Residential					No impact on designated heritage assets.	n/a	Green	Conservation officer doesn't consider HIA a requirement on this site	
Land at York Road North Duffield	NDUF-J	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land to the South of A163	NDUF-N	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Gothic Farm, Back Lane, North Duffield	NDUF-O	Residential					No impact on designated heritage assets.	n/a	Green		
Hall Farm, Back Lane, North Duffield	NDUF-P	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land at Hillcrest, Old Great North Road, Newthorpe	NTHP-A	Gypsy and Traveller				Within 100m of Historic Park or Garden	There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Land East of St Leonards Avenue, Osgodby	OSGB-C	Residential					There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Osgodby Nurseries, Hull Road, Osgodby	OSGB-D	Residential					There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Lake View Farm, Osgodby	OSGB-G	Residential					No impact on designated heritage assets.	n/a	Green		
Land south of Hull Road, Osgodby	OSGB-H	Rejected Site			Within 250m of a Listed Building		The site is 125 metres east of a former War Department munitions depot, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	B	Amber		
Land east of Sand Lane, Osgodby	OSGB-I	Residential					No impact on designated heritage assets.	n/a	Green		
Land at South Duffield Road, Osgodby	OSGB-K	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land at site directly north of Barlby and Osgodby Methodist Church	OSGB-L	Rejected Site			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land south of Hull road	OSGB-N	Education					There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Land North of Riccall	RICC-G	Rejected Site	Within 100m of Conservation Area	Within 250m of SAM	Within 250m of a Listed Building		The site is 250 metres northeast of The Manor House, a Grade II* Listed Building, with it's Grad II Listed pigeoncote. The manor is part of York prebendary manor moated site, a Scheduled Monument. Riccall Conservation Area is 85 metres to the southeast. Development of this area could harm elements which contribute to the significance of these heritage assets.	A, B, F & H	Amber		
Land between Landing Lane and Kelfield Road, Riccall	RICC-I	Rejected Site	Within 250m of Conservation Area	Within 250m of SAM	Within 250m of a Listed Building		The site is 210 metres south of The Manor House, a Grade II* Listed Building, with it's Grade II Listed pigeoncote. The manor is part of York prebendary manor moated site, a Scheduled Monument. In addition, the Grade II Listed Tower House is 130 metres southeast of the site. Development of this area could harm elements which contribute to the significance of these heritage assets.	A, B & H	Amber		
Land at Landing Lane Riccall	RICC-J	Residential	Within 250m of Conservation Area		Within 250m of a Listed Building		Tower House, 150 metres to the west of the site, is a Grade II Listed Building. Riccall Conservation Area is	B & F	Amber	Conservation officer doesn't consider HIA a	

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							140 metres to the north of the site.			requirement (site reduced)	
Land South East of York Road Riccall	RICC-K	Rejected Site	Within 500m of Conservation Area		Within 250m of a Listed Building		The site is 100 metres southwest of the gatepiers to Escrick Park which are Grade II Listed.	C	Green		
Land at Landing Lane Riccall	RICC-L	Rejected Site	Within 250m of Conservation Area		Within 250m of a Listed Building		Tower House, 200 metres to the west of the site, is a Grade II Listed Building. Riccall Conservation Area is 125 metres to the north of the site. Development of this area could harm elements which contribute to the significance of these heritage assets.	B & F	Amber		
Land at Landing Lane Riccall	RICC-M	Rejected Site	Within 250m of Conservation Area		Within 100m of a Listed Building		The site is adjacent to Tower House, a Grade II Listed Building, and Riccall Conservation Area is 220 metres to the northeast of the site. Development of this area could harm elements which contribute to the significance of these heritage assets.	B & F	Amber		
Land to West of Selby Business Park, Selby (Brayton Parish)	SELB-AD	Rejected Site			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Rigid Group Ltd, Denison Road, Selby	SELB-AG	Residential	Within 250m of Conservation Area		Within 100m of a Listed Building		The site is adjacent to the Selby Lock on the Aire and Calder Navigation which, along with the Lock House and Bridge House, are	B & F	Amber	HIA Complete	Amber

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							Grade II Listed Buildings. The eastern boundary of Selby Town Conservation Area is 180 metres to the west of the site. Development of this area could harm elements which contribute to the significance of these heritage assets.				
Industrial Chemicals Ltd, Canal View, Bawtry Road, Selby	SELB-B	Residential	Within 500m of Conservation Area				No impact on designated heritage assets.	n/a	Green		
Land west of Foxhill Lane, Brayton	SELB-BD	Rejected Site	Within 100m of Conservation Area		Within 250m of a Listed Building		The site is adjacent to Brayton Conservation Area which contains the Grade I Listed Church of St Wilfrid and Grade II Listed Vicarage. Development of this area could harm elements which contribute to the significance of these heritage assets.	C & F	Green		
Land between Baffam Lane and Selby Canal, Brayton	SELB-BE	Rejected Site	Within 100m of Conservation Area		Within 500m of a Listed Building		The west end of the site is adjacent to Brayton Conservation Area which contains the Grade I Listed Church of St Wilfrid. Brayton Bridge, a Grade II Listed Building, is 310 metres south of the site. Development of this area could harm elements which contribute to the	C & F	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							significance of these heritage assets.				
Land north of Brayton Bridge, east of canal, Selby	SELB-BF	Rejected Site	Within 500m of Conservation Area		Within 100m of a Listed Building		The site is adjacent to Brayton Bridge, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	B	Amber		
Land off Canal Road	SELB-BO	Rejected Site	Within 100m of Conservation Area		Within 100m of a Listed Building		The is adjacent to the rear of The Nelson Inn, a Grade II Listed Building.	C	Green		
Land to West of Selby Business Park, Selby (Brayton Parish)	SELB-BX	Rejected Site			Within 500m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land at Crosshills Lane	SELB-BZ	Residential	Intersects with Conservation Area		Within 100m of a Listed Building		The easternmost part of the site adjoins Leeds Road Conservation Area. The site is also close to a number of Grade II Listed Buildings on the north side of Leeds Road. Development of this area could harm elements which contribute to the significance of these heritage assets.	D & C	Amber	HIA Complete	Amber
Olympia Park, Barlby Road, Barlby	SELB-CA	Employment			Within 500m of a Listed Building		The Former War Department Munitions Depot, 200 metres to the north of the site, is Grade II Listed.	C	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Land between A19 and A63 Bypass, Barlby	SELB-CB	Rejected Site			Within 250m of a Listed Building		The site is 100 metres west of a former War Department munitions depot, a Grade II Listed Building.	C	Green		
Olympia Park, Barlby Road, Barlby	SELB-CC	Rejected Site	Intersects with Conservation Area	Within 500m of SAM	Within 100m of a Listed Building		The sites south west corner adjoins Selby Town Conservation Area and is close to the Selby Railway Swing Bridge, a Grade II Listed structure. Several other Grade II Listed Buildings are located on the opposite bank of the Rover Ouse. The Conservation Area Appraisal identifies that the Barlby Allotments make some contribution to the character and appearance of the area. Development of this area could harm elements which contribute to the significance of these heritage assets.	C & D	Amber		
Land off Friars Meadow, Selby Town	SELB-CG	Rejected Site			Within 250m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land at Cockret Farm, Selby	SELB-CH	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Land at Former Police Station Site, Selby	SELB-CO	Rejected Site	Within 250m of Conservation Area		Within 250m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land north of Flaxley Road, Selby Common	SELB-CP	Rejected Site			Within 250m of a Listed Building		A group of three Grade II Listed Buildings relating to Hempbridge Farm are located 170 metres southeast of the site.	C	Green		
Former Selby Shipyard and adjoining land comprising a pond, Selby	SELB-CQ	Rejected Site	Within 500m of Conservation Area		Within 250m of a Listed Building		The site is 215 metres southeast of Selby Lock on the Aire and Calder Navigation which, along with the Lock House and Bridge House, are Grade II Listed Buildings.	C	Green		
Former Ousegate Maltings	SELB-CR	Residential	Intersects with Conservation Area	Within 500m of SAM	Within 100m of a Listed Building		The site is within Selby Town Conservation Area and the entrance to the site from Ousegate is adjacent to two Grade II Listed Buildings, The Jolly Sailor Inn and 98-104 Ousegate. Development of this area could harm elements which contribute to the significance of these heritage assets. If allocated, consideration should be given as to whether any buildings or structures associated with the former maltings should be classified as non-designated heritage assets	B & E	Amber	HIA Complete	Amber

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							and treated accordingly in the Plan.				
Land adjoining 64, Wistow Road, Selby	SELB-CS	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land East of Staynor Hall	SELB-CU	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land at Bondgate, Selby	SELB-CV	Rejected Site	Within 500m of Conservation Area		Within 100m of a Listed Building		The site is 65 metres southwest of Mount Pleasant, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	B	Amber		
Land at Bondgate, Selby	SELB-D	Rejected Site	Within 500m of Conservation Area		Within 100m of a Listed Building		Mount Pleasant, less than 30 metres north of the site, is a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	B	Amber		
Land at Monk Lane, Selby	SELB-E	Rejected Site	Within 250m of Conservation Area	Within 500m of SAM	Within 100m of a Listed Building		The site is 75 metres east of Mount Pleasant, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	B	Amber		
Land north of Brayton Lane, south of bypass, Selby	SELB-T	Rejected Site					No impact on designated heritage assets.	n/a	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Gascoigne Wood Interchange (former Gascoigne Wood mine site), Sherburn In Elmet	SHER-AA	Employment					No impact on designated heritage assets.	n/a	Green		
Land North of Lennerton Farm, Lennerton Lane, Sherburn In Elmet	SHER-AB	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land South of Moor Lane Trading Estate, Sherburn In Elmet	SHER-AK	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Old Vicarage, Church Hill, Sherburn In Elmet	SHER-AP	Rejected Site		Within 100m of SAM	Within 100m of a Listed Building		The site is adjacent to the Church of All Saints, a Grade I Listed Building, and the site of King Athelstan's Palace Scheduled Monument. The churchyard cross to the east of the south porch of the church is also Grade II Listed. Development of this area could harm elements which contribute to the significance of these heritage assets. The site also contains the Vicarage. If allocated, consideration should be given as to whether any buildings or structures on the site should be classified as non-designated heritage assets	A, B & G	Red		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							and retained as part of its development.				
Land at the Back of No.44 Garden Lane, Sherburn in Elmet	SHER-BB	Rejected Site		Within 500m of SAM	Within 500m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land to the south of Church Meadow, Sherburn in Elmet,	SHER-BE	Rejected Site		Within 250m of SAM	Within 250m of a Listed Building		The site is 128 metre south of the Church of All Saints, a Grade I Listed Building. The churchyard cross to the east of the south porch of the church is also Grade II Listed. Development of this area could harm elements which contribute to the significance of these heritage assets.	A & B	Amber		
Gascoigne Wood Interchange (former Gascoigne Wood mine site), Sherburn In Elmet	SHER-BF	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land adjacent to Prospect Farm, Low Street, Sherburn In Elmet	SHER-H	Residential					No impact on designated heritage assets.	n/a	Green		
Land to west of Nos. 8 to 36 (even) Garden Lane, Sherburn in Elmet	SHER-Q	Rejected Site		Within 250m of SAM	Within 250m of a Listed Building		The site is 128 metre south of the Church of All Saints, a Grade I Listed Building. The churchyard cross to the east of the south porch of the church is also Grade II Listed. Development of this area could harm	A & B	Amber		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							elements which contribute to the significance of these heritage assets.				
Land west of Garden Lane, Sherburn	SHER-R	Rejected Site		Within 500m of SAM	Within 500m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land North of Leeds Road, Sherburn In Elmet	SHER-V	Rejected Site		Within 250m of SAM	Within 250m of a Listed Building		The site is 125 metres southwest of the Church of All Saints, a Grade I Listed Building, and the site of King Athelstan's Palace Scheduled Monument. The churchyard cross to the east of the south porch of the church is also Grade II Listed. Development of this area could harm elements which contribute to the significance of these heritage assets.	A, B & G	Amber		
Land North of Millcroft House, Garden Lane, Sherburn In Elmet	SHER-W	Rejected Site		Within 250m of SAM	Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land at Ellarfield Lane, Sherburn In Elmet	SHER-X	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Former Stillingfleet Mine, Cawood Road, Stillingfleet	STIL-C	Rejected Site	Within 250m of Conservation Area				The site is 250 metres from Stillingfleet Conservation Area.	F	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Land to the south of Escrick Road, Escrick.	STIL-D	Rejected Site	Within 100m of Conservation Area		Within 500m of a Listed Building		The sites north east corner adjoins the south west corner of Escrick Conservation Area. Development of this area could harm elements which contribute to the significance of the Conservation Area. Consideration should be given as to whether any of the farm buildings on the site should be classified as non-designated heritage assets and treated accordingly in drawing up development proposals for the site.	D	Amber	HIA Complete	Amber
Fircroft and Former Barnardo's Home, Wighill Lane, Tadcaster	TADC-AD	Residential	Within 250m of Conservation Area	Within 500m of SAM	Contains Listed Buildings		The site includes Fircroft country house, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	B	Red	HIA Complete	Amber
Land at North of Hill Crest, Tadcaster	TADC-AE	Residential					No impact on designated heritage assets.	n/a	Green		
Land East of Grimston Grange	TADC-AJ	Rejected Site			Within 500m of a Listed Building		The site is 430 metres northeast of Grimston Lodge, a Grade II Listed Building, and adjacent to the parkland setting of Grade II* Listed Grimston Park. Development of this	C	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							area could harm elements which contribute to the significance of these heritage assets. If allocated, consideration should be given as to whether any of the buildings and structures associated with the adjacent Grimston Grange should be classified as non-designated heritage assets and treated accordingly in the Plan.				
Chapel Street/ Central Area Car Park.	TADC-H	Mixed Use	Entirely Within Conservation Area	Within 100m of SAM	Contains Listed Buildings		Development of this site could impact upon the significance of a number of designated heritage assets in its vicinity. These include The Ark and The Old Vicarage to the north of the site, both of which are Grade II* Listed Buildings, and several Grade II Listed Buildings along High Street to the south.	A & B	Red	HIA Complete	Amber
Land at Mill Lane	TADC-I	Mixed Use	Intersects with Conservation Area	Within 100m of SAM	Within 100m of a Listed Building		Development of this site could impact upon the significance of a number of designated heritage assets in its vicinity. Parts of the site are within Tadcaster Conservation Area. There are a number of Listed Buildings in the vicinity of the site including the	A, B, D & H	Red	HIA Complete	Red

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							Church of St Mary, a Grade II* Listed Building. The Disused Railway Viaduct over the River Wharf at the sites northern end, and Wharf Bridge at its southern end, are both Grade II Listed. When assessing this site, consideration should be given as to whether any of the buildings or structures on the site associated with the former mill should be classified as non-designated heritage assets. The site is also on the adjacent river bank to the Scheduled Monument, Motte and Bailey Castle.				
Land North of Station Road	TADC-J	Residential	Within 500m of Conservation Area				No impact on designated heritage assets.		Green		
Wighill Lane, Tadcaster	TADC-L	Residential	Within 250m of Conservation Area	Within 500m of SAM	Within 100m of a Listed Building		Consideration should be given as to whether any buildings or structures on the site, or in its vicinity, should be classified as non-designated heritage assets and treated accordingly in developing proposals for the site.	n/a	Green		
London Road, Tadcaster	TADC-M	Rejected Site	Within 100m of Conservation Area	Within 500m of SAM	Within 100m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are	n/a	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							likely to be affected by development.				
Robin Hood Yard	TADC-N	Rejected Site	Entirely Within Conservation Area	Within 250m of SAM	Within 100m of a Listed Building		Development of this site could impact upon the significance of a number of designated heritage assets in its vicinity. The site is within Tadcaster Conservation Area. There are a number of Listed Buildings in the vicinity of the site including the Church of St Mary to the north east of the site, a Grade II* Listed Building, along with numerous Grade II Listed Buildings on Kirkgate, Bridge Street and Wharfe Bank Terrace.	A , B & D	Red	HIA Complete (former carpark proposal)	Red
Land at Powerplus	TADC-V	Rejected Site	Intersects with Conservation Area	Within 250m of SAM	Within 100m of a Listed Building		The site is within the Tadcaster Conservation Area and adjacent to the Grade II Listed Wharf Bridge. Development of this area could harm elements which contribute to the significance of these heritage assets.	B & F	Amber		
Willow Farm, Doncaster Road, Tadcaster	TADC-X	Rejected Site			Within 500m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land West of Grimston Grange	TADC-Y	Rejected Site			Within 500m of a		The site is 295 metres northeast of Grimston Lodge, a Grade II Listed	C	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
					Listed Building		Building, and adjacent to the parkland setting of Grade II* Listed Grimston Park. Development of this area could harm elements which contribute to the significance of these heritage assets. If allocated, consideration should be given as to whether any of the buildings and structures associated with the adjacent Grimston Grange should be classified as non-designated heritage assets and treated accordingly in the Plan.				
Land North of Leeds Road, Thorpe Willoughby	THRP-D	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land South of Leeds Road, Thorpe Willoughby	THRP-K	Residential			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land South of Field Lane, Thorpe Willoughby (Gateforth Parish)	THRP-M	Rejected Site			Within 100m of a Listed Building		The eastern end of the site is adjacent to Barff Farmhouse, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	B	Amber		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Land East of A63 Roundabout, Thorpe Willoughby (Hambleton Parish)	THRP-N	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land north of Field Lane, Thorpe Willoughby	THRP-U	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land at Swallowvale Leeds Road, Thorpe Willoughby	THRP-V	Residential					No impact on designated heritage assets.	n/a	Green		
Land east of Linden Way, Thorpe Willoughby	THRP-W	Rejected Site			Within 100m of a Listed Building		The site is adjacent to Barff Farmhouse, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	B	Amber		
Land south of Leeds Road / north of Field Lane	THRP-X	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land south of Barley Horn Road, Ulleskelf	ULLE-D	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Ulleskelf Station, Ulleskelf	ULLE-E	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land at New Road, Ulleskelf	ULLE-H	Rejected Site			Within 500m of a		No impact on designated heritage assets.	n/a	Green		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
					Listed Building						
Land off Bell Lane, Ulleskelf	ULLE-I	Rejected Site			Within 250m of a Listed Building		The site is between 215 and 290 metres of two Grade II Listed Buildings, Rosedene and Manor Farm Cottages. Development of this area could harm elements which contribute to the significance of these heritage assets.	C	Amber		
Land East of Bell Lane, Ulleskelf	ULLE-K	Residential			Within 100m of a Listed Building		The site is adjacent to Manor Farm Cottages, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	B	Amber	HIA Complete	Amber
Land at Hall Garth, Ulleskelf	ULLE-L	Rejected Site			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land west of Bell Lane, Ulleskelf	ULLE-M	Rejected Site			Within 100m of a Listed Building		The site is adjacent to two Grade II Listed Buildings, Rosedene and Manor Farm Cottages. Two further Grade II Listed Buildings are close to the sites northwest corner. Development of this area could harm elements which contribute to the significance of these heritage assets.	B	Amber		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
Land off Bell Lane, Ulleskelf	ULLE-N	Rejected Site			Within 100m of a Listed Building		The site is adjacent to two Grade II Listed Buildings, Rosedene and Manor Farm Cottages. Two further Grade II Listed Buildings are close to the sites western boundary. Development of this area could harm elements which contribute to the significance of these heritage assets.	B	Amber		
Land to the rear of Main Street, West Haddlesey	WHAD-B	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land at Blenheim House, Whitley	WHIT-H	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Land to rear of Copper Beech Drive, Whitley	WHIT-T	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Site at Tunstall Healthcare, Whitley	WHIT-Z	Rejected Site					No impact on designated heritage assets.	n/a	Green		
Plantation House / Plantation Garage, Cawood Road, Wistow	WIST-A	Rejected Site			Within 100m of a Listed Building		The site is adjacent to the Blacksmith's Shop, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	B	Amber		
Land to rear of Oak Farm, Garmancarr Lane, Wistow	WIST-C	Rejected Site			Within 100m of a Listed Building		The site is adjacent to the Oak Farm, a Grade II Listed Building. Development of this area could harm elements which contribute	B	Amber		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							to the significance of this heritage asset.				
Land between Field Lane and Lordship Lane, Wistow	WIST-D	Rejected Site			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land south of Long Lane, Wistow	WIST-E	Rejected Site			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land north of Long Lane, Wistow	WIST-F	Rejected Site			Within 100m of a Listed Building		The site is 40 metres north of West Villa, a Grade II Listed Building.	C	Green		
Land at Cawood Road, Wistow	WIST-J	Rejected Site			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land at Cawood Road, Wistow	WIST-K	Rejected Site			Within 100m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		
Land at Field Lane, Wistow	WIST-L	Rejected Site			Within 500m of a Listed Building		No impact on designated heritage assets.	n/a	Green		
Land at Selby Road, Wistow	WIST-M	Rejected Site			Within 100m of a Listed Building		The site is adjacent to Manor Field House, a Grade II Listed Building. Development of this area could harm elements which contribute to the	B	Amber		

Location	Local Plan Reference	Publication Site Status	Conservation Area	Scheduled Ancient Monument	Listed Building	Park and Garden	Impact on historic environment	Historic England Assessment	Site Assessment Score	Heritage Impact Assessment (HIA)	HIA Score
							significance of this heritage asset.				
Land west of Carr Lane, Wistow	WIST-N	Rejected Site			Within 100m of a Listed Building		The site is adjacent to Manor Field House, a Grade II Listed Building. Development of this area could harm elements which contribute to the significance of this heritage asset.	B	Amber		
Land east of Station Road, Wistow	WIST-O	Rejected Site			Within 100m of a Listed Building		The site is opposite the Blacksmith's Shop and to the rear of 1 Church Hill, both Grade II Listed Buildings. The site is also 80 metres west of the Grade I Listed Church of All Saints. Views of the church tower are possible across the northern edge of this site from Station Road. Development of this area could harm elements which contribute to the significance of these heritage assets.	A & B	Amber		
Land adjacent to Roselyn, Selby Road, Wistow, YO8 3UT	WIST-P	Rejected Site			Within 250m of a Listed Building		There are no designated heritage assets in the vicinity of the site that are likely to be affected by development.	n/a	Green		

3.0 Heritage Impact Assessments

AROE-I Land Adjacent to Malt Kiln Lane, Appleton Roebuck

1. The site

Site name / location: AROE-I Land Adjacent to Malt Kiln Lane, Appleton Roebuck. Located to the north of the settlement. Site reduced in scale since original submission (to omit the two smaller fields to its south).

Description of proposal: Residential development. Form/design unknown.

Description of context: The Site is an agricultural field located to the south of Malt Kiln Lane (this forming its northern edge). The draft Appleton Roebuck Conservation Area Appraisal identifies the field as containing ridge and furrow. Further to the south, separated by two smaller fields, is the historic core of the settlement (and conservation area). To the west and north is located agricultural land; to the east is a later 20th century housing estate (Northfield Avenue) and a more recent, smaller development at the immediate east of the Site (Ash Tree Gardens). The boundary treatments of the Site are hedgerows with some trees within. Site AROE-N is located to the north of the Site, on the north side of Malt Kiln Lane.

2. Designated heritage assets

2.1. Appleton Roebuck Conservation Area

2.1.1. Appleton Roebuck Conservation Area - Identification of significance

The draft Appleton Roebuck Conservation Area Appraisal (CAA) provides an analysis of the character and appearance of the conservation area, setting out those elements that contribute to its special architectural and historic interest.

It is the elements of special interest that form the significance of a conservation area. In the case of Appleton Roebuck, those elements include but are not limited to:

- *The way in which the settlement has developed over time.*
- *Historic grain (linear) of the settlement.*
- *The survival of medieval toft and croft boundaries to the historic core.*

- *Presence of agricultural / former agricultural buildings reflecting the farming history of the settlement (and relationship with the surrounding land).*
- *Landscape elements such as the open spaces of the Greens, grass verges and trees.*
- *The position of buildings on Main Street with wide grass verges.*
- *The scheduled monument known as Brocket Hall Moated Site.*
- *Landmark buildings such as All Saints Church, Shoulder of Mutton public house and Bridge Service Station.*
- *Boundary treatments (low walls and hedges).*
- *High prevalence of historic buildings (both designated and non-designated).*
- *The locally distinctive character of buildings (materials, detailing, scale, massing, form). Prevalence of brown-red local brick with pan tile or Welsh slate roofs, with a few instances of limestone buildings.*
- *The way in which elements of the conservation area are experienced, including views within and into/out of it.*

In the overall hierarchy of significance value, the conservation area can be attributed MEDIUM significance value.



Above: Photo demonstrating part of the character of the conservation area - view looking south along Main Street in the area of West and South Chapel Greens.

The draft conservation area appraisal identifies the site (together with the fields to its south/south west – named as ‘fields to the north’) as having a ‘strong contribution’ to character and appearance. In fact, the appraisal recommended that the boundary be re-drawn to include it as the fields ‘*comprise medieval earthwork ridge and furrow as well as*

historic field boundaries.' Whilst the site cannot be readily experienced from the west-east aligned part of Main Street (partly due to the location of both historic buildings and later housing added behind – see photo below), it is highly appreciable from Malt Kiln Lane where views are available over the field back towards the conservation area. The appraisal identifies a 'setting view' here, looking south over the Site. The lane is a private land at a point beyond the site edge, but a public footpath runs along it.



Above: View looking north from Main Street (grade II listed Wesleyan Methodist Chapel to left) – an example of how development to the rear of frontage buildings is visible, though the Site is not..

2.1.2. Appleton Roebuck Conservation Area - Identification of impact on significance

Definition of scale of impact:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is of a low level.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate-high impact to the conservation area, leading to overall MODERATE scale of impact to significance.

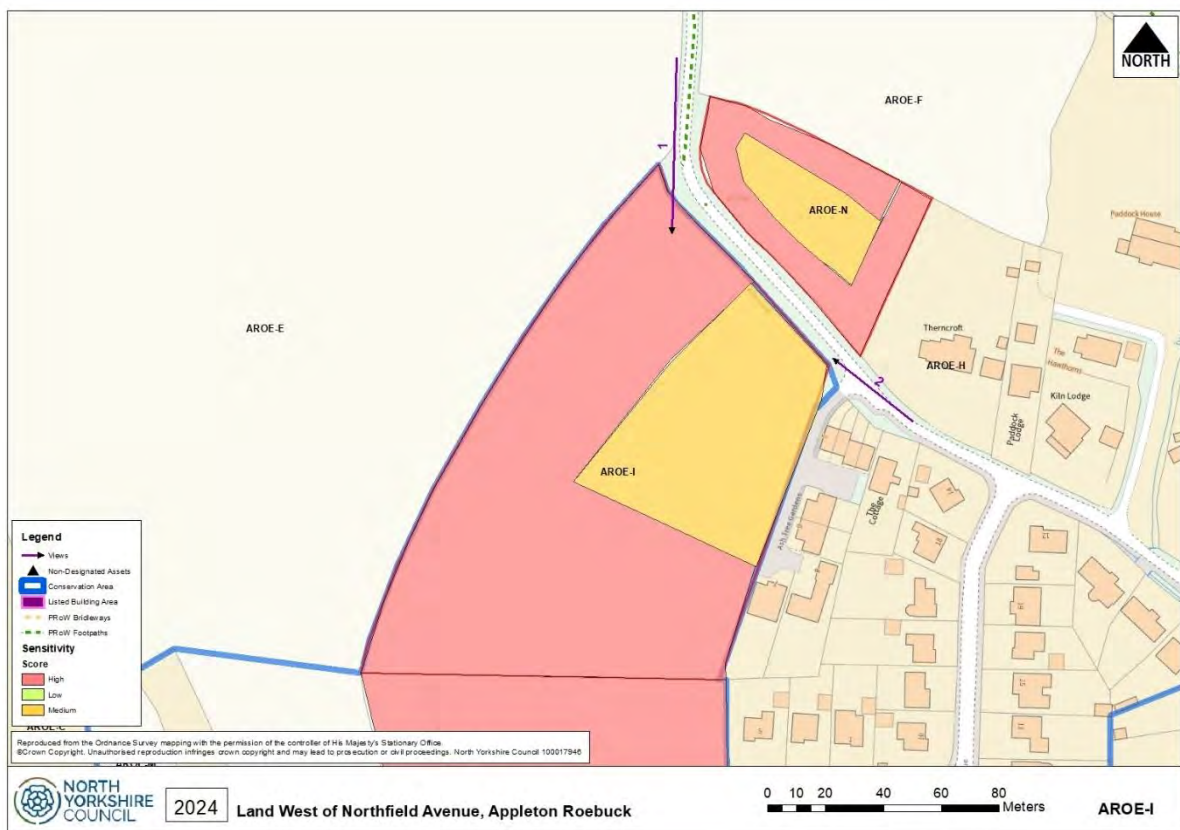
Reason for conclusions: The way in which the conservation area and its important rural surrounding field network is experienced would fundamentally change on its northern side, due to the change in form of the land from rural to housing. The important 'setting view' (view 1 in this report) will be significantly impacted. Therefore, the whole site is identified within this report as being of a higher area of sensitivity (see map analysis, below). There is potential that any ridge and furrow present within the Site to be lost (an archaeological feature and important evidence of the medieval history of the land).



Above: View 1 – Looking south from Malt Kiln Lane over the Site towards the edge of conservation area ('setting view' as identified in the draft appraisal). Southern edge of AROE-N visible on the left.



Above: View 2 – looking north west along Malt Kiln Lane to the northern edge of the Site.



Above: Map analysis of AROE-I (ARO-E-N shown for reference).

Provision of development of suburban character in the view along Malt Kiln Lane (view 2, above), would further erode the rural setting of the settlement in this location.

Longer range views of the Site are likely to be available on approach from the north when travelling along Malt Kiln Lane. From within the Site (not publicly accessible), there are likely to be closer range views of the adjoining field network (located to the north of the conservation area).

2.1.3 Recommended mitigation measures / opportunities to enhance significance:

Should development be forthcoming on the site, the following mitigation measures are recommended:

- Avoidance of development on ridge and furrow.
- Avoidance of a new access off Malt Kiln Lane, instead using Ash Tree Gardens, if possible. Avoidance of standard highways engineered access and road treatment so that a rural character can be achieved.
- Retention of hedgerow/treed boundaries, tree to north east corner of the Site and grass verge to Malt Kiln Lane.
- Provision of a generous set back from Malt Kiln Lane so that the views along the lane are not harmed by the introduction of built form and so that the tree at the NE corner is given space about it.
- Built form to be low density.
- Provision of a generous set back from the western edge of the Site, together with appropriate landscaping measures to integrate development with the edge of settlement where it adjoins open countryside.

3. Non-designated heritage assets

3.1 Ridge and furrow (within the Site)

3.1.1. Ridge and furrow (within the Site) - Identification of significance

The conservation area appraisal identifies that the area of fields now included ('fields to the north'), which includes this Site, comprises ridge and furrow (a pattern of ridge and troughs remaining from the medieval system of ploughing). The site has not been inspected but if ridge and furrow is present, then the Site would be considered to be a non-designated heritage asset of archaeological interest.

Note: Although this report does cover archaeological assets, it is included here because of the strong relationship with the Site and its reference in the conservation area appraisal.

3.1.2. Ridge and furrow (within the Site) - Identification of impact on significance

Definition of scale of impact:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is of a low level.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for direct physical impact or loss of the asset leading to overall MODERATE scale of impact to significance.

Reason for conclusions: Development of the site will severely affect the ridge and furrow directly and may lead to its full loss. Even if some is retained, the change of use of the land will have a harmful impact on its remaining context.


Recommended mitigation / enhancement measures:

- Avoidance of development on ridge and furrow.
- Retention of areas of ridge and furrow by reduction of the site area.
- To be advised by others – provision of archaeological investigation so that the asset can be recorded / information gained through discovery of potential remains (potentially revealing significance).

4. Summary of heritage impact

Development of the Site will have a fundamental impact on the character of the land, from rural/agricultural fields to housing. This will have a resulting harmful impact on the conservation area.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

 Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

It should be noted that the omission of the fields to the south of the Site (as originally proposed) is considered to reduce the scale of impact to the significance of the conservation area as originally assessed.

With regards to impact on the potential ridge and furrow non-designated heritage asset, the level of harm has the potential to be severe, resulting in significant adverse impact on its significance.

Author: Emma Gibbens BSc MSc IHBC

Date of report: 26th May 2022

AROE-K Colton Lane, Appleton Roebuck

1. The Site

Site name / location: AROE-K Colton Lane, Appleton Roebuck

Description of proposal: Residential development

Description of context: The Site is an agricultural field located to the north-west of Appleton Roebuck. It contains a hedgerow which splits the site into two areas, a rectangular plot to the north and a smaller triangle plot to the south. To the south-east is a collection of 20th century houses off Colton Lane. Beyond this is a 20th century housing development. To the south and south-east of this modern development is the boundary of the Appleton Roebuck Conservation Area.

To the north and west are agricultural fields.

The site is not located within the Appleton Roebuck Conservation Area and there are no Listed Buildings located nearby.



Above: Aerial map of Site and the north-west corner of Appleton Roebuck

2. Designated heritage assets

2.1. Appleton Roebuck Conservation Area

2.1.1. Appleton Roebuck Conservation Area - Identification of significance

The draft Appleton Roebuck Conservation Area Appraisal (CAA) provides an analysis of the character and appearance of the conservation area, setting out those elements that contribute to its special architectural and historic interest.

It is the elements of special interest that form the significance of a conservation area. In the case of Appleton Roebuck, those elements include but are not limited to:

- *The way in which the settlement has developed over time.*
- *Historic grain (linear) of the settlement.*
- *The survival of medieval toft and croft boundaries to the historic core.*
- *Presence of agricultural / former agricultural buildings reflecting the farming history of the settlement (and relationship with the surrounding land).*
- *Landscape elements such as the open spaces of the Greens, grass verges and trees.*
- *The position of buildings on Main Street with wide grass verges.*
- *The scheduled monument known as Brocket Hall Moated Site.*
- *Landmark buildings such as All Saints Church, Shoulder of Mutton public house and Bridge Service Station.*
- *Boundary treatments (low walls and hedges).*
- *High prevalence of historic buildings (both designated and non-designated).*
- *The locally distinctive character of buildings (materials, detailing, scale, massing, form). Prevalence of brown-red local brick with pan tile or Welsh slate roofs, with a few instances of limestone buildings.*
- *The way in which elements of the conservation area are experienced, including views within and into/out of it.*

In the overall hierarchy of significance value, the conservation area can be attributed MEDIUM significance value.



Above: Photo demonstrating part of the character of the conservation area - view looking south along Main Street in the area of West and South Chapel Greens.

2.1.2. Appleton Roebuck Conservation Area - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

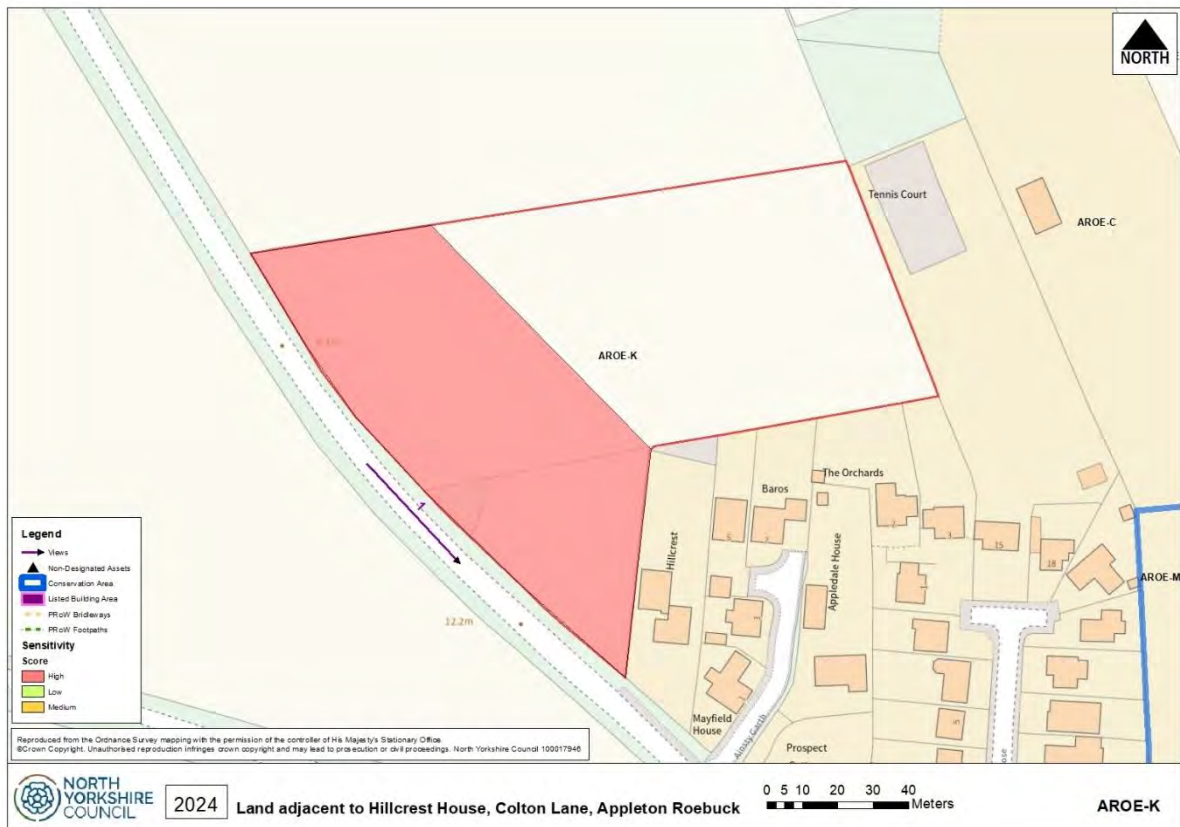
Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development on the site would result in an increase in the amount of built form to the north of the Appleton Roebuck Conservation Area. This would alter the setting of the asset and its setting contributes to its significance. The impact of the development would be classed as MINOR.

Reason for conclusions – Development of this Site, if developed to a low density, would be viewed as an extension to the existing housing developments to the north of Colton Lane. There would be a change to the setting of the asset, this change would be minimal as it would be an extension to the existing built form of the village.

Recommended mitigation measures / opportunities to enhance significance: In order to minimise the harm to the significance of the listed building, the new buildings to be low density, built to reflect the historic street patterns, building scale and materials. Retain hedgerows and limit tall fences to maintain views to the countryside.



Above: Map showing areas of sensitivity of AROE-K

3. Summary of heritage impact

Any new housing to be low density, appropriately designed to reflect the local distinctiveness of the area, taking into account street patterns, historic building types and materials. Careful considerations as to retention of hedgerows to maintain the countryside aesthetic and to minimise tall timber boarded fences.

With regards to the impact on the designated heritage assets, the following score is attributed to the proposed development:

Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: Anne Sims BSc (Hons), MA, MRTPI

Date of report: 28/06/2023

AROE-N Therncroft, Malt Kiln Lane, Appleton Roebuck

1. The site

Site name / location: AROE-N Therncroft, Malt Kiln Lane, Appleton Roebuck. Located to the north of the settlement.

Description of proposal: Residential development. Form/design unknown.

Description of context: This is a small field located north of Malt Kiln Lane, tapering on its western edge. All edges have a hedgerow boundaries with trees within, with grass verge to the lane. On all sides but the east it is adjoined by fields and/or open countryside. On this eastern edge is located a group of later 20th century dwellings to the north of the lane. The adjoining hedgerow frontages of these properties are coniferous and therefore are not of typical, rural type. Beyond the Site, Malt Kiln Lane is a no through / private road but is accessible because of the public footpath that runs along it

2. Designated heritage assets

2.1. Appleton Roebuck Conservation Area

2.1.1. Appleton Roebuck Conservation Area - Identification of significance

The draft Appleton Roebuck Conservation Area Appraisal (CAA) provides an analysis of the character and appearance of the conservation area, setting out those elements that contribute to its special architectural and historic interest.

It is the elements of special interest that form the significance of a conservation area. In the case of Appleton Roebuck, those elements include but are not limited to:

- *The way in which the settlement has developed over time.*
- *Historic grain (linear) of the settlement.*
- *The survival of medieval toft and croft boundaries to the historic core.*
- *Presence of agricultural / former agricultural buildings reflecting the farming history of the settlement (and relationship with the surrounding land).*
- *Landscape elements such as the open spaces of the Greens, grass verges and trees.*
- *The position of buildings on Main Street with wide grass verges.*
- *The scheduled monument known as Brocket Hall Moated Site.*
- *Landmark buildings such as All Saints Church, Shoulder of Mutton public house and Bridge Service Station.*

- *Boundary treatments (low walls and hedges).*
- *High prevalence of historic buildings (both designated and non-designated).*
- *The locally distinctive character of buildings (materials, detailing, scale, massing, form). Prevalence of brown-red local brick with pan tile or Welsh slate roofs, with a few instances of limestone buildings.*
- *The way in which elements of the conservation area are experienced, including views within and into/out of it.*

In the overall hierarchy of significance value, the conservation area can be attributed MEDIUM significance value.



Above: Photo demonstrating part of the character of the conservation area - view looking south along Main Street in the area of West and South Chapel Greens.

The Site sits to the north of Malt Kiln Lane and is largely screened (in tree leaf season) from view by the tall hedgerow which includes trees. An historic field boundary forms its northern edge but the remainder of the land north of the lane has been infilled with single dwellings (later 20th century). The lack of development of the Site (none visible from limited views into site through hedgerow) adds to the rural setting of the settlement as one leaves/enters via Malt Kiln Lane. Though this does not form the immediate context to the edge of the conservation area on its northern part, there is however a visual relationship with the northern edge of the fields to the immediate south of the lane (which forms site AROE-I and which is part of the 'fields to the north' that are recommended for inclusion in a re-drawn conservation area boundary, within the appraisal) – see view 1, below.

The land is identified in the draft appraisal as providing ‘some contribution’ to the character and appearance of the conservation area.



Above: View 1 – Looking south from Malt Kiln Lane. Southern edge of AROE-N visible on the left. View over AROE-I ‘Setting view’ as identified in the draft appraisal visible to the right.

2.1.2. Appleton Roebuck Conservation Area - Identification of impact on significance

Definition of scale of impact:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is of a low level.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

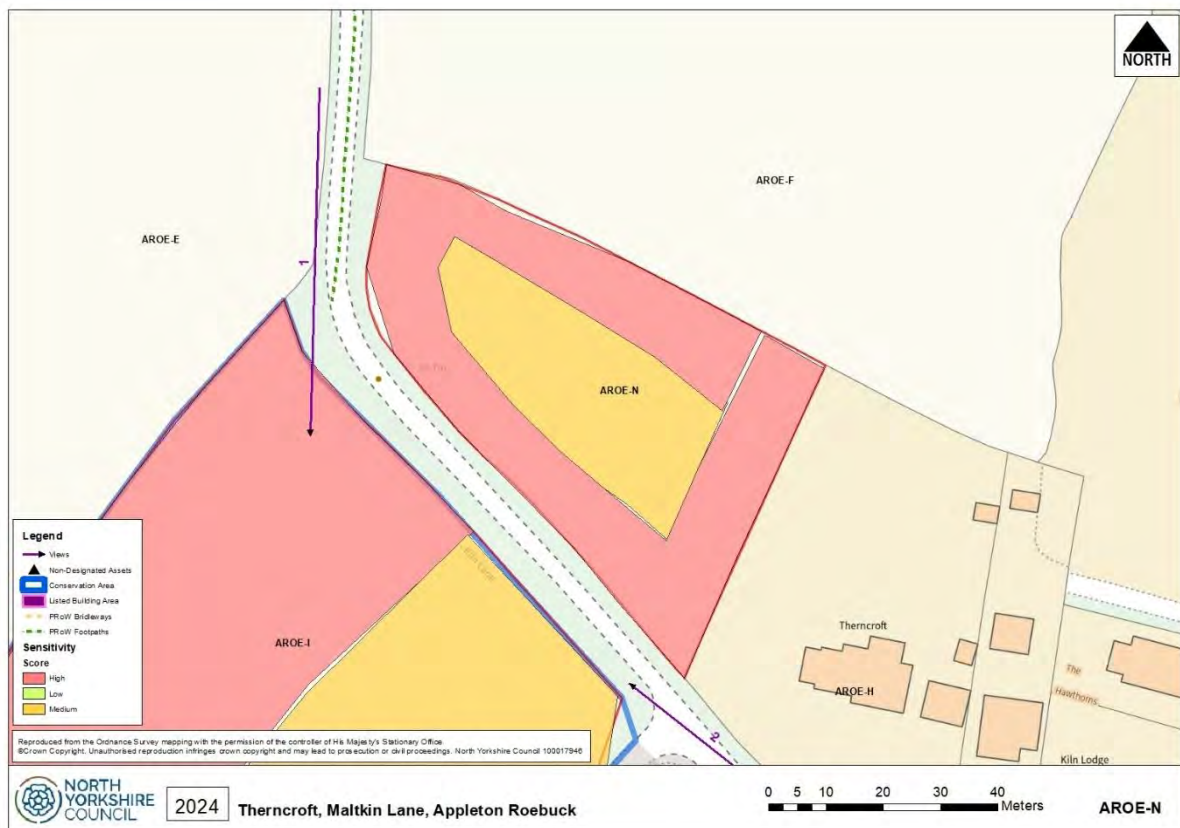
No Change - No change to assets or their settings

Summary of scale of impact: Potential for minor-moderate impact on setting resulting in MINOR scale of impact to significance. Impacts can be minimised with recommended mitigation measures.

Potential for a higher scale of impact on setting should the land to the south of Malt Kiln Lane be included within the conservation area, as proposed within the appraisal (as there would be a more direct impact on setting).

Reason for conclusions: Due to the screening resulting from the high hedgerow/trees and distance from the conservation area, the provision of a small scale development on the Site, of appropriate form, is not considered to result in potential harm to the setting of the conservation area. The edges of the site are therefore identified as being of higher sensitivity on the map analysis, below. This conclusion is on the basis that the recommended mitigation measures are taken into account so that the overall rural appearance of the Site is not changed from views along Malt Kiln Lane. This includes as viewed in context with AROE-I (view 1), potential longer distance views from further north on Malt Kiln Lane and on approach on the lane from the south east (view 2).

Not providing such mitigation may result in harmful impacts - for example, a high density development that involves significant loss of hedgerow and trees would harmfully change the character of the lane in this location.



Above: Map analysis of AROE-N.

Recommended mitigation measures:

- Hedgerows, grass verge and trees to the boundaries to be maintained so that development would be screened from view and the rural character of the lane maintained (however consideration should be made for the potential for hedgerows to be reduced in height which would make development more apparent).
- Development be low density on this edge of settlement location (where it adjoins the open countryside and has a relationship with the field of AROE-I). It is therefore expected that the site would be of a lower density to reflect the character of Malt Kiln Lane.
- Dwellings should be of locally distinctive form in terms of elements such as form, scale, massing and materials.
- Removal of hedgerow/trees for provision of an access should be kept to a minimum – use of the existing gated access on the western edge of the Site would be preferable so as to avoid a break in the southern boundary. A simple, rural style of gated access should be provided.


2. Non-designated heritage assets

None identified.

3. Summary of heritage impact

The Site is of 'some contribution' to the character and appearance of the conservation area. There is potential for there to be harmful impacts on setting if development is not carefully designed to take into account its context, including the land to the south that forms the area that has potential to be included within the conservation area boundary in the future.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

 Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

As highlighted in the report above, there is potential to minimise impact and there is therefore potential for the appropriate development of the site to result in minimal or no change to the setting of the conservation area.

Author: Emma Gibbens BSc MSc IHBC

Date of report: 26th May 2022

AROE-O Land West of Northfield Avenue, Appleton Roebuck

1. The site

Site name / location: AROE-O Land West of Northfield Avenue, Appleton Roebuck.

Description of proposal: Residential development.

Description of context: The Site comprises small agricultural fields located to the north of the backland development behind the frontage buildings to Main Street and to the west of the housing developments of North Field Close and North Field Way. Within the Site area, a field is formed by hedgerows to its south and west (and with the hedgerow to its north boundary also forming the boundary of the Site). At the south east corner, the Site includes a driveway access to three dwellings located to the south of the Site (accessed from North Field Way). To its west is located a partially surviving strip field, which opens up to a larger field to its north. Another site (a field), AROE-I is located to the north of the Site, on the south side of Malt Kiln Lane.

2. Designated heritage assets

2.1. Appleton Roebuck Conservation Area

2.1.1. Appleton Roebuck Conservation Area - Identification of significance

The draft Appleton Roebuck Conservation Area Appraisal (CAA) provides an analysis of the character and appearance of the conservation area, setting out those elements that contribute to its special architectural and historic interest.

It is the elements of special interest that form the significance of a conservation area. In the case of Appleton Roebuck, those elements include but are not limited to:

- *The way in which the settlement has developed over time.*
- *Historic grain (linear) of the settlement.*
- *The survival of medieval toft and croft boundaries to the historic core.*
- *Presence of agricultural / former agricultural buildings reflecting the farming history of the settlement (and relationship with the surrounding land).*
- *Landscape elements such as the open spaces of the Greens, grass verges and trees.*
- *The position of buildings on Main Street with wide grass verges.*
- *The scheduled monument known as Brocket Hall Moated Site.*

- *Landmark buildings such as All Saints Church, Shoulder of Mutton public house and Bridge Service Station.*
- *Boundary treatments (low walls and hedges).*
- *High prevalence of historic buildings (both designated and non-designated).*
- *The locally distinctive character of buildings (materials, detailing, scale, massing, form). Prevalence of brown-red local brick with pan tile or Welsh slate roofs, with a few instances of limestone buildings.*
- *The way in which elements of the conservation area are experienced, including views within and into/out of it.*

In the overall hierarchy of significance value, the conservation area can be attributed MEDIUM significance value.



Above: Photo demonstrating part of the character of the conservation area - view looking south along Main Street in the area of West and South Chapel Greens.

The draft Appleton Roebuck Conservation Area Appraisal identifies the Site (together with the fields to its north and east– named as ‘fields to the north’) as having a ‘strong contribution’ to character and appearance. In fact, the appraisal recommends that the boundary be re-drawn to include it as the fields ‘*comprise medieval earthwork ridge and furrow as well as historic field boundaries.*’ The remnants of fields in this location are evidence of former crofts and tofts and the layout of the historic core of the village. Whilst the site cannot be readily experienced from the west-east aligned part of Main Street (partly due to the location of both historic buildings and later housing added behind – see View 4 below), it is particularly appreciable from Malt Kiln Lane where views are available to the

Site over the field to its north. The appraisal identifies a 'setting view' here, looking south towards the Site (represented by View 1).



Above: View 4 looking north from Main Street (grade II listed Wesleyan Methodist Chapel to left) – an example of how development to the rear of frontage buildings is visible, though the Site is not.

The Site is located close to, but outside of the conservation area boundary and therefore it can be considered to contribute positively to its setting (with a consequential positive contribution to significance).

2.1.2. Appleton Roebuck Conservation Area - Identification of impact on significance

Definition of scale of impact:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is of a low level.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate impact to setting, leading to overall low to moderate scale of impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: The way in which the conservation area and its important rural surrounding field network is experienced would change on its northern side, due to the change in form of the land from rural to housing. The important 'setting view' (view 2 in this report), from Kiln Lane, will be impacted because built form would be visible, eroding the legibility of the historic fields. Standard forms of suburban housing would be particularly harmful in this rural setting.

Although viewed in the context of a later 20th century housing development, the sense of the lack of development as viewed along North Field Close is a positive one and assists in evidencing the historic fields.

Should development be designed in such a way as to result in the loss of the hedgerow, this give rise to additional harm, as the physical evidence of historic field boundaries will be lost.

Should the land be included within the conservation area boundary in the future, development of it would result in a much higher scale of impact as it would directly affect the conservation area.

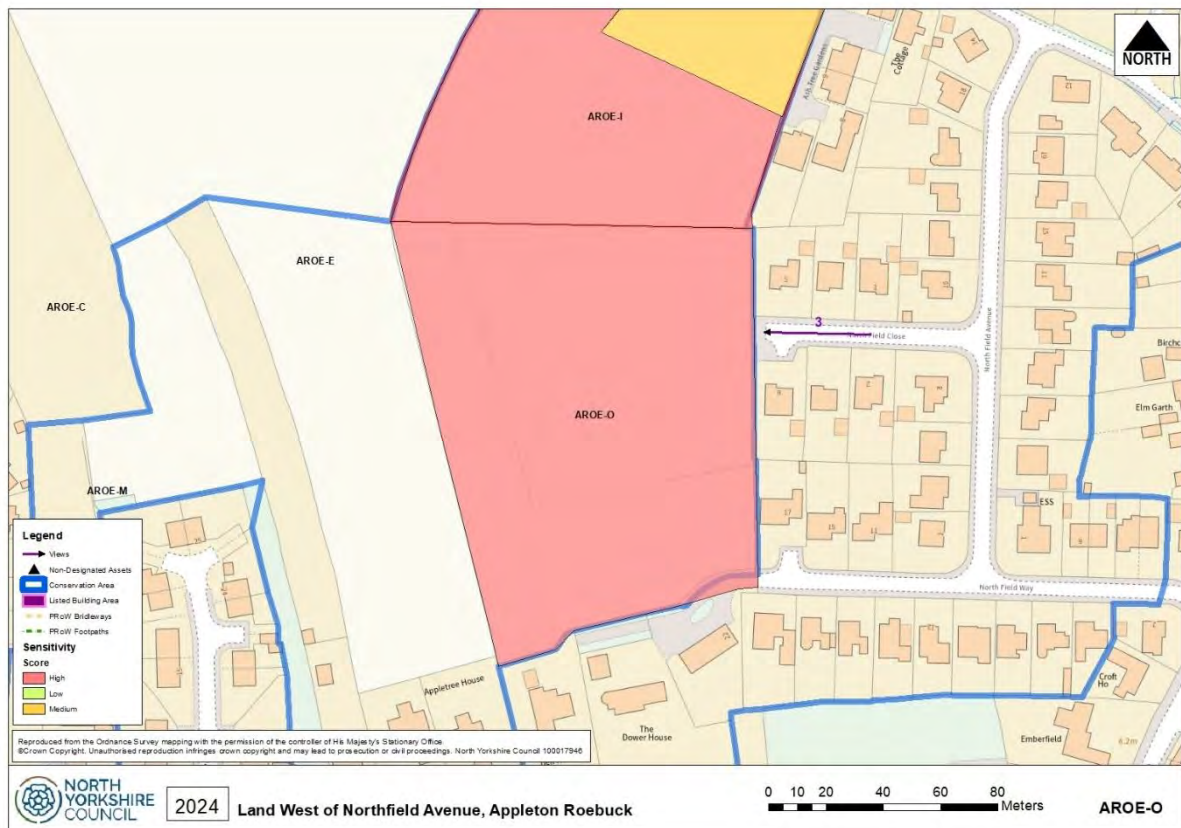


*Above: View 1 – looking south from Malt Kiln Lane to the Site (over the field to its north)
(‘setting view’ as identified in the Conservation area appraisal).*



Above: View 3 – looking west along North Field Close, to the Site.

Therefore, the whole Site is identified within this report as being of a higher area of sensitivity (see map analysis, below). If ridge and furrow is present within the Site (an archaeological feature and important evidence of the medieval history of the land), its loss would be harmful.



Above: Map analysis of AROE-O.

Recommended mitigation measures / opportunities to enhance significance:

Should development be forthcoming on the site, the following mitigation measures are recommended in order to reduce harmful impacts:

- Making use of existing access points of North Field Close and North Field Way but in a manner that avoids standard Highways engineered accesses.
- Avoidance of development on ridge and furrow.
- Retention of hedgerow/treed boundaries so that the inner field boundary is maintained and so that the hedgerow on the north boundary is retained. Therefore, development should be omitted from the small strip of land to the western edge of the Site. Existing hedgerows to be used to form boundaries to new dwellings with any new boundaries carried out to a rural style (avoiding standard forms of fencing).
- Built form to be very low density so that there is generous spacing between dwellings. Appropriate space provided to hedgerow and trees. The layout should not replicate that of the North Field housing to the east.
- Building scale, design and massing to be locally distinctive so that they representative the best of local form.

3. Non-designated heritage assets

3.1 Ridge and furrow (within the Site)

3.1.1. Ridge and furrow (within the Site) - Identification of significance

The conservation area appraisal identifies that the area of fields recommended for inclusion ('fields to the north'), which includes this Site, comprises ridge and furrow (a pattern of ridge and troughs remaining from the medieval system of ploughing). The site has not been inspected but if ridge and furrow is present, then the Site would be considered to be a non-designated heritage asset of archaeological interest.

Note: Although this report does cover archaeological assets, it is included here because of the strong relationship with the Site and its reference in the conservation area appraisal.

3.1.2. Ridge and furrow (within the Site) - Identification of impact on significance

Definition of scale of impact:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is of a low level.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for direct physical impact or loss of the asset leading to overall major scale of impact to significance.

Reason for conclusions: Development of the site will severely affect the ridge and furrow directly and may lead to its full loss. Even if some if retained, the change of use of the land will have a harmful impact on its remaining context.


Recommended mitigation / enhancement measures:

- Avoidance of development on ridge and furrow.
- Retention of areas of ridge and furrow by reduction of the site area.
- To be advised by others – provision of archaeological investigation so that the asset can be recorded / information gained through discovery of potential remains (potentially revealing significance).

4. Summary of heritage impact

Development of the Site will have a fundamental impact on the character of the land, changing from rural/agricultural fields to housing. This will have a resulting harmful impact on the setting of the conservation area and serve to erode the evidence of the historic field pattern and historic development of the settlement.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

 Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

The field to the north of the Site was also put forward for consideration – if this were to be developed in addition to AROE-I (forming site AROE-I, as previously assessed), the level of harm would be increased but would still fall within the same heritage impact score category.

Should development occur once the site has been included to be within the conservation area boundary (as recommended in the draft appraisal), the level of harm would increase due to the loss of part of the conservation area to housing.

With regards to impact on the potential ridge and furrow non-designated heritage asset, the level of harm has the potential to be severe, resulting in significant adverse impact to its significance.

Author: Emma Gibbens BSc MSc IHBC

Date of report: 22nd February 2023

CAMB-C Land north of Beech Grove, Camblesforth

1. The site

Site name / location: Land north of Beech Grove, Camblesforth (CAMB-C)

Description of proposal: Housing.



Above: Map showing location of CAMB-C (adjacent site CAMB-G to its west)

Description of context: The site consists of agricultural fields on the western fringe of the settlement of Camblesforth. It is surrounded by fields to the north and west, and to the south is a modern housing development of cul-de-sac form. To the south and east of the site is Camblesforth Hall, together with its associated former farm / outbuildings. A public footpath generally runs east-west through the site, following the track to the immediate north of the Hall's former farm buildings. The site adjoins the modern housing of Barn Elms at its north eastern edge. Another site, CAMB-G, is located to the west of the Site.

2. Designated heritage assets

2.1. Camblesforth Hall

2.1.1. Camblesforth Hall - Identification of significance

Camblesforth Hall is a grade I listed building. The Hall is located within large grounds that comprise gardens to the south, east and west. To the north are located ranges of former farm buildings and outbuildings, including the grade II listed Dovecote (see 3.2. below).

At the time of listing, in 1966, the house was divided into two dwellings but is now a single dwelling. The list entry advises that the house was built around 1700 with later additions and alterations. It was possibly the work of architect John Etty of York. It is built of red-brown brick in English bond with ashlar dressings and a hipped, slate roof. This large house has two storeys, with attic rooms with dormer windows. The principal frontage (south elevation) has a central entrance within its seven bays, with tall sash windows of 9 over 9 panes.



Above: View 1 of Camblesforth Hall from principal entrance off Brigg Lane, looking west.

The significance of the Hall derives from elements such as:

- It being a good example of a c. 1700 large, high status house.
- Its overall architectural form and the retention of historic fabric.
- It's association with John Etty, a known architect of the time.

- Architectural details such as windows, quoin stones, over-hanging eaves, gauged brick window heads and doorcase.
- The interior plan form and features including the remains of an original dogleg staircase and other service staircases. Good survival of interior features such as moulded panelling, ceilings, doors and fireplaces. This identified within the list entry (building interior not inspected).
- The way in which the building has changed over time and the evidence present to demonstrate this.
- The orientation of the principal, south elevation to the south (which historic OS maps indicate were laid out to formal gardens), with the more functional, north elevation facing the associated former farm / outbuildings.
- The associated dovecote and the status that this infers.
- The associated historic and traditional former farm / outbuildings that are evidence of past agricultural activities (built of brick – renovated in the past few years and now in use as a wedding venue). These are considered to be curtilage listed.



Above: Map 1 - Extract from OS Six-inch map surveyed 1849. Reproduced with the permission of the National Library of Scotland and can be accessed at: [View map: Ordnance Survey, Yorkshire 236 \(includes: Burn; Camblesforth; Carlton; Chapel Haddlesey; Hensall;... - Ordnance Survey Six-inch England and Wales, 1842-1952 \(nls.uk\)](#)

The setting of the Hall within its large grounds comprising well-treed gardens and associated farm / outbuildings, which can be experienced from within the grounds but also externally (from within the settlement but also from other vantage points, such as on the public footpath where the presence of undeveloped, agricultural land on its western side allows

the Hall to be experienced). The presence of Drax Power Station is a notable visual intrusion into some views of the Hall.

The Site forms part of the surrounding agricultural land to the west and north of the Hall.

The part to the west of the Hall is more paddock like but otherwise has the appearance of an agricultural field. Here, brick boundary walls form the west boundary of the Hall where it adjoins the site (south of the footpath). Historic OS maps (see Map 1, above) shows that the land to the south of the footpath, at that time, formed part of the grounds of the Hall, rather than being purely agricultural land. The land to the north was, as now, an agricultural field. As well as giving rise to views of the Hall, the land also therefore has significance due to the part it has played as the extended grounds to this large house.

The site makes a positive contribution to the setting and therefore significance of the Hall and the associated buildings.



Above: View 2 of Camblesforth Hall and farm / outbuildings from within the CAMB-C site.

In the overall hierarchy of significance value, Camblesforth Hall can be attributed HIGH significance value.

The curtilage listed farm / outbuildings are of less significance value than the Hall but form part of the overall group.

2.1.2. Camblesforth Hall - Identification of impact on significance

Definition of scale of impact:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is of a low level.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for major impact to setting, leading to overall high moderate to major impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: The setting of the Hall would be significantly impacted by development of the Site as a housing scheme. There would be a fundamental change of the character of the land from agricultural / non-developed land to developed land. This will change the way in which the heritage assets are experienced, for example:

- In the view looking west from Brigg Lane (see Photo 1 – View 1), Camblesforth Hall is experienced in context with its principal entrance but also where the backdrop is open countryside. Whilst these are partial or glimpsed views, the sense of there being no development beyond the Hall is clear. However, this setting would be experienced to a greater extent from within the curtilage of the Hall (views from within the grounds not inspected).
- The Hall can be viewed in clear context with the Site from the public footpath (see View 3, below). The former farm / outbuildings are also viewed here but more so with the part of the Site located to the north of the footpath (to the west of Barn Elms), where despite the presence of the housing of Barn Elms, there is still some sense of the agricultural setting of the buildings (see View 4, below). Views along the footpath are ‘dynamic’, as they change as one travels along the path.
- The Hall can be glimpsed when travelling on the A1041, looking east before reaching the dwellings present to the northern edge of the road towards Camblesforth (View 5).



Above: View 3 – Camblesforth Hall viewed from the public footpath, looking east.

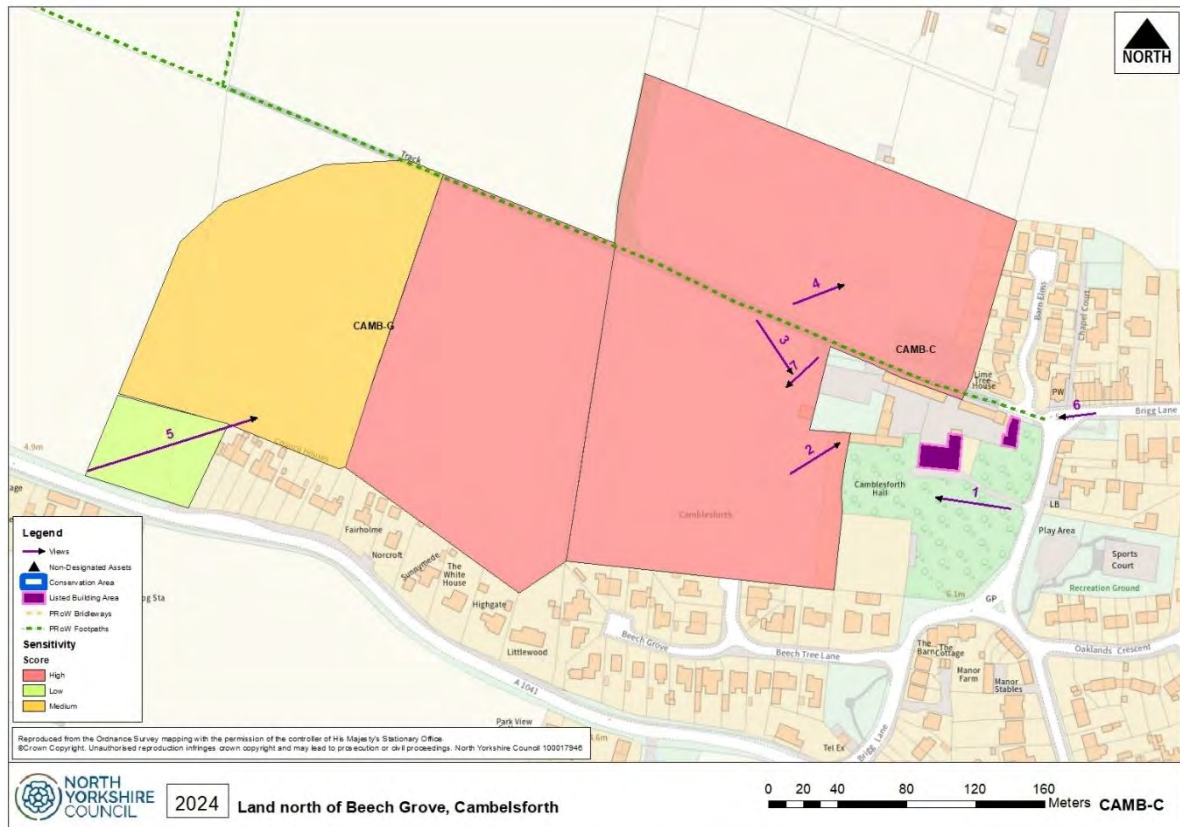


Above: View 4 - Looking east, along footpath – former farm buildings present to the right hand side.

In all cases, the introduction of built form across the Site would fundamentally change the setting of the Hall, by removing the relationship with the surrounding countryside / agricultural land and because of the encroachment of built form upon the heritage assets, which has the potential to subsume the Hall. This will cause considerable harm to the setting of Camblesforth Hall and the group of buildings.

If the track / footpath were to be used as the main entrance to the housing development, the formalisation of this track to a highway (which could potentially include removal of hedgerows) would add additional harmful impacts.

The views and sensitivity of the site are identified within the Map Analysis, see below.



Above: Map Analysis of CAMB-C

Recommended mitigation measures: Provision of open space within a housing scheme may serve to give some relief to the impacts on setting but would likely not be sufficient to mitigate harm due to the extent of development elsewhere on the site.

Similarly, some relief may also be gained from the provision of built form that is locally distinctive (in terms of scale, design, materials and detailing), as a means to best integrate development within its surroundings. Building heights and densities should be carefully considered so that where possible, the impact of built form is reduced.

Omission of all development to the south of the footpath would significantly reduce the level of harm; however, significant harmful impacts would still be forthcoming. Further, generally, the provision of development in this manner would not be appropriate in terms of settlement character (as would be the case for the whole Site).

2.2. Dovecote to east of Camblesforth Hall

2.2.1. Dovecote to east of Camblesforth Hall - Identification of significance

The Dovecote is a grade II listed building. The full name of the listing is ‘*Dovecote to Camblesforth Hall approximately 5 metres to east of house, Brigg Lane.*’ Dovecotes were designed to house pigeons or doves for the purpose of providing food and feathers. Available only to the very rich, they can be seen as a status symbol.

Built of red-brown brick, it has remnants of diaper brickwork on the south elevation. The list entry (1966) describes the Dovecote as possibly of 16th century origin, which would pre-date the Hall. 19th century alterations led to a rebuilding of the upper parts of the building and its roof. The interior was at that time, lined with brick nesting boxes. The Dovecote has not been inspected as part of this report.



Above: Photo of Dovecote, south east elevation, from within the Hall's gardens – source: AAH Planning Consultants' Heritage Statement, October 2016 submitted with application 2016/1257/OUTM.



Above: View 6 of the Dovecote (centre of photo) as viewed from Brigg Lane, seen in context with the other farm/out buildings. Footpath follows the lane/track past the buildings.

The significance of the Dovecote derives from elements such as:

- It being a good example of a Dovecote, a purpose built structure for the keeping of pigeons / doves.
- Its overall architectural form and the retention of historic fabric.
- The assumed survival of its interior nesting boxes.
- The way in which the building has changed over time and the evidence present to demonstrate this.
- The relationship of the Dovecote to Camblesforth Hall and the way in which this reveals the status of the Hall.
- The potential 16th century date and the potential for this to reveal more about the history of the Hall and its grounds.
- The way that the Dovecote evidences past ways of providing food for the wealthy.
- The position of the Dovecote built close to the Hall and Brigg Lane, most likely as a means to convey the status of the Hall to those approaching / visiting.
- The setting of the Dovecote within the grounds of the Hall, forming part of the overall group of buildings.

As part of the Hall's group of ancillary buildings to its north, the presence of the agricultural land (which forms the Site) as undeveloped land makes a positive contribution to setting but this can be said to be to a lesser extent than the Hall or the range of buildings; This is because the Dovecote is located in a more contained position within the grounds of the Hall, it tending to be experienced either from within the grounds, or from Brigg Lane to the east (and less so in direct context with the site). It is noted that whilst the Dovecote is more visible from Brigg Lane within winter months, it is only partially visible when the trees are in leaf.

In the overall hierarchy of significance value, the Dovecote can be attributed MEDIUM significance value.

2.2.2. Dovecote to east of Camblesforth Hall - Identification of impact on significance

Definition of scale of impact:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is of a low level.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for minor impact to setting, leading to overall minor impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: The Dovecote would be less affected by development of the Site than the other heritage assets as its immediate context would not be affected. Inspection from within the grounds, may, however, reveal additional views that are relevant to this consideration. Even so, with development of the site, built form may be visible beyond the range of attached former farm / outbuildings and this would serve to erode the setting of the building due to the fundamental change from agricultural land to developed land with built form.

Recommended mitigation measures: As for the Hall and ancillary buildings, provision of open space within a housing scheme may serve to give some relief to the impacts on setting especially where this would omit built form from views such as View 6, thereby also avoiding the effect of subsuming the building by housing.

As for the Hall, built form should be locally distinctive.

4. Summary of heritage impact

Whilst harmful impacts would be less for the Dovecote than the Hall and the other associated buildings to its north, the overall impact is considered to be considerably harmful, due to the extent to which the character of the surrounding land would be changed, leading to harm to the setting of the buildings.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

Significant adverse impact on setting of designated heritage assets or involve loss of heritage asset.

The development of adjoining site, CAMB-G, together with CAMB-C, would result in additional development in the setting of the heritage assets. The majority of the harmful impacts will arise from the development of CAMB-C because of the closer relationship with the Hall and because the land was formerly part of the grounds. However, the development of both would add further to the harmful sense of encroachment of development upon the Hall and impact on the relationship of the Hall with the surrounding land.

Author: Emma Gibbens BSc MSc IHBC

Date of report: 22nd February 2023

CAMB-G Land north of Beech Grove, Camblesforth

1. The site

Site name / location: Land north of Beech Grove, Camblesforth (CAMB-G)

Description of proposal: Housing.



Above: Map showing location of CAMB-G (with adjoining site CAMB-C to its east)

Description of context: The Site is an agricultural field, located to the north of the dwellings located to the north of the A1041. The Site also extends partially into the adjoining field to the west. The field has hedgerow boundaries. It is adjoined by fields on its west, north and east sides. Beyond the adjoining field to the east is located Camblesforth Hall and the settlement of Camblesforth. The Site adjoins another site, CAMB-C, on its eastern edge.

2. Designated heritage assets

2.1. Camblesforth Hall

2.1.1. Camblesforth Hall - Identification of significance

Camblesforth Hall is a grade I listed building. The Hall is located within large grounds that comprise gardens to the south, east and west. To the north are located ranges of former farm buildings and outbuildings, including the grade II listed Dovecote (see 3.2. below).

At the time of listing, in 1966, the house was divided into two dwellings but is now a single dwelling. The list entry advises that the house was built around 1700 with later additions and alterations. It was possibly the work of architect John Etty of York. It is built of red-brown brick in English bond with ashlar dressings and a hipped, slate roof. This large house has two storeys, with attic rooms with dormer windows. The principal frontage (south elevation) has a central entrance within its seven bays, with tall sash windows of 9 over 9 panes.



Above: View 1 of Camblesforth Hall from principal entrance off Brigg Lane, looking west.

The significance of the Hall derives from elements such as:

- It being a good example of a c. 1700 large, high status house.
- Its overall architectural form and the retention of historic fabric.
- It's association with John Etty, a known architect of the time.
- Architectural details such as windows, quoin stones, over-hanging eaves, gauged brick window heads and doorcase.
- The interior plan form and features including the remains of an original dogleg staircase and other service staircases. Good survival of interior features such as moulded panelling, ceilings, doors and fireplaces. This identified within the list entry (building interior not inspected).

- The way in which the building has changed over time and the evidence present to demonstrate this.
- The orientation of the principal, south elevation to the south (which historic OS maps indicate were laid out to formal gardens), with the more functional, north elevation facing the associated former farm / outbuildings.
- The associated dovecote and the status that this infers.
- The associated historic and traditional former farm / outbuildings that are evidence of past agricultural activities (built of brick – renovated in the past few years and now in use as a wedding venue). These are considered to be curtilage listed.



Above: Map 1 - Extract from OS Six-inch map surveyed 1849. Reproduced with the permission of the National Library of Scotland and can be accessed at: [View map: Ordnance Survey, Yorkshire 236 \(includes: Burn; Camblesforth; Carlton; Chapel Haddlesey; Hensall;... - Ordnance Survey Six-inch England and Wales, 1842-1952 \(nls.uk\)](#)

The setting of the Hall within its large grounds comprising well-treed gardens and associated farm / outbuildings, which can be experienced from within the grounds but also externally (from within the settlement but also from other vantage points, such as on the public footpath where the presence of undeveloped, agricultural land on its western side allows the Hall to be experienced). The presence of Drax Power Station is a notable visual intrusion into some views of the Hall.

The Site adjoins the field (to its west) that forms the immediate agricultural context of the Hall, this field having historically formed part of its grounds. The agricultural form and openness / lack of development of the Site contributes positively to the setting (and therefore significance) of the Hall by allowing the historic relationship between the Hall and

surrounding land to remain legible and by giving a sense of the high status of the Hall (which is set within large grounds on the edge of the settlement).



Above: View 2 of Camblesforth Hall and farm / outbuildings from within the CAMB-C site.



Above: View 7 looking west along the footpath, the CAMB-C visible in the foreground, with CAMB-G visible in the distance.



Above: View 8 looking south west over CAMB-C with CAMB-G partially visible to the centre-right hand side of the image.

In the overall hierarchy of significance value, Camblesforth Hall can be attributed HIGH significance value.

The curtilage listed farm / outbuildings are of less significance value than the Hall but form part of the overall group.

2.1.2. Camblesforth Hall - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate to high moderate impact to setting, leading to overall moderate impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Setting would not be affected in all respects – demonstrated by views 2, 3, 4 not being affected.



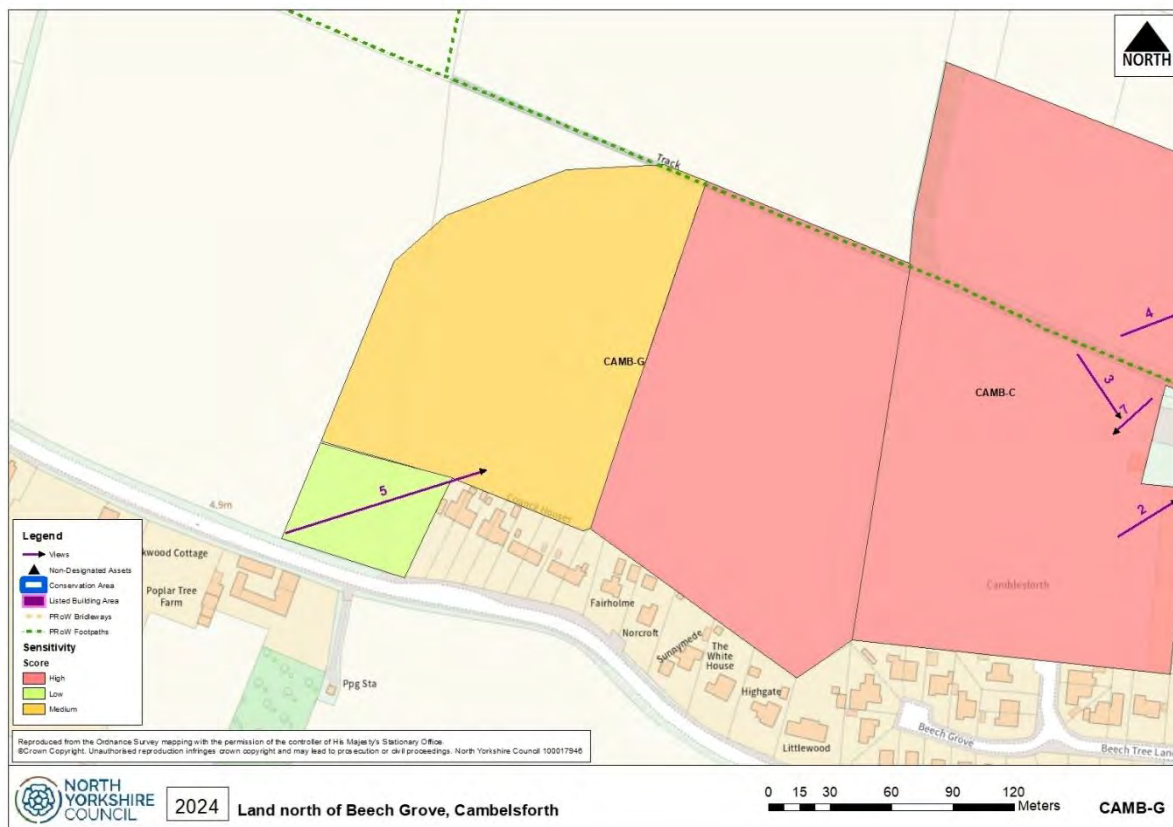
Above: View 3 – Camblesforth Hall viewed from the public footpath, looking east.



Above: View 4 - Looking east, along footpath – former farm buildings present to the right hand side.

However, the setting of the Hall would be greatly impacted by development of the Site as a housing scheme. There would be a fundamental change of the character of the land from agricultural / non-developed land to developed land. Impact would be dependent on the density of development, layout and scale/design of dwellings. Development of the Site will change the way in which the heritage assets are experienced, as demonstrated by the following views, for example:

- In the view looking west from Brigg Lane (View 1), Camblesforth Hall is experienced in context with its principal entrance but also where the backdrop is open countryside. The sense of there being no development beyond the Hall may be affected by development of the Site, but this would likely have a limited impact on the view from the lane. However, this setting would be experienced to a greater extent from within the curtilage of the Hall (views from within the grounds not inspected) and it is expected that the impact here would be more impactful (similar to that experienced in Views 7 and 8).
- The Hall can be glimpsed when travelling on the A1041, looking east before reaching the dwellings present to the northern edge of the road towards Camblesforth (View 5). This view would be lost with the provision of built form across the Site. Development of one or two dwellings, linear to the road, in the area of lesser sensitivity (on the Map Analysis), would have a very low or nil impact on the setting of the Hall; However, development here may impact on the view.
- In view 6, built form may be partially visible in the distance which may serve to erode the sense of agricultural / non-developed context to the Hall group.
- In views 7 and 8, built form will be highly visible, adjoining the land that forms the a close context of the Hall. This would fundamentally change the setting of the Hall, by changing the relationship with the surrounding countryside / agricultural land and serve to erode the sense of high status of the Hall to some extent. Setting the building line back would reduce the level of impact and an estimation of this is identified using the provision of medium and higher levels of sensitivity of the Map Analysis - further assessment would be require to establish the extent of set-back required.
- The views and sensitivity of the site are identified within the Map Analysis:



Above: Map Analysis of CAMB-G

Recommended mitigation measures: Setting the building line back by reduction of the Site area or by provision of open space within a housing scheme may serve to give some relief to the impacts on setting – locating this on the eastern edge would push back the building line and help to reduce the visual impact of built form as seen from the Hall and views along the footpath. However, it is noted that pushing the Site boundary back to such an extent as identified by the Map Analysis would create a development that would be contrary to settlement and landscape character and so may otherwise be undesirable. Built form could be partially screened with tree planting but such landscaping would need to be considered for its suitability in the landscape.

Similarly, some relief may also be gained from the provision of built form that is locally distinctive (in terms of scale, design, materials and detailing), as a means to best integrate development within its surroundings. Building heights and densities should be carefully considered so that, where possible, the impact of built form is reduced. Lower densities, so that space can be achieved between dwellings, would also assist. The provision of standard,

fenced boundaries should be avoided on the eastern edge of the site and existing hedgerows should be retained.

2.2. Dovecote to east of Camblesforth Hall

2.2.1. Dovecote to east of Camblesforth Hall - Identification of significance

The Dovecote is a grade II listed building. The full name of the listing is '*Dovecote to Camblesforth Hall approximately 5 metres to east of house, Brigg Lane.*' Dovecotes were designed to house pigeons or doves for the purpose of providing food and feathers. Available only to the very rich, they can be seen as a status symbol.

Built of red-brown brick, it has remnants of diaper brickwork on the south elevation. The list entry (1966) describes the Dovecote as possibly of 16th century origin, which would pre-date the Hall. 19th century alterations led to a rebuilding of the upper parts of the building and its roof. The interior was at that time, lined with brick nesting boxes. The Dovecote has not been inspected as part of this report.



Above: Photo of Dovecote, south east elevation, from within the Hall's gardens – source: AAH Planning Consultants' Heritage Statement, October 2016 submitted with application 2016/1257/OUTM.



Above: View 6 of the Dovecote (centre of photo) as viewed from Brigg Lane, seen in context with the other farm/out buildings. Footpath follows the lane/track past the buildings.

The significance of the Dovecote derives from elements such as:

- It being a good example of a Dovecote, a purpose built structure for the keeping of pigeons / doves.
- Its overall architectural form and the retention of historic fabric.
- The assumed survival of its interior nesting boxes.
- The way in which the building has changed over time and the evidence present to demonstrate this.
- The relationship of the Dovecote to Camblesforth Hall and the way in which this reveals the status of the Hall.
- The potential 16th century date and the potential for this to reveal more about the history of the Hall and its grounds.
- The way that the Dovecote evidences past ways of providing food for the wealthy.
- The position of the Dovecote built close to the Hall and Brigg Lane, most likely as a means to convey the status of the Hall to those approaching / visiting.
- The setting of the Dovecote within the grounds of the Hall, forming part of the overall group of buildings.

The Dovecote is located in a more contained position within the grounds of the Hall than the other buildings, it tending to be experienced either from within the grounds, or from Brigg Lane to the east. It is noted that whilst the Dovecote is more visible from Brigg Lane within winter months, it is only partially visible when the trees are in leaf. The Site forms part of the distant backdrop to the Dovecote, for example, as seen in View 6. However, a closer relationship may be experienced from within the group of buildings. As part of the Hall's

group of ancillary buildings to its north, the presence of the Site, as undeveloped / agricultural land, makes a positive contribution to its wider setting but this can be said to be to a lesser extent than the Hall or the range of buildings;

In the overall hierarchy of significance value, the Dovecote can be attributed MEDIUM significance value.

2.2.2. Dovecote to east of Camblesforth Hall - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for minor impact to setting, leading to overall less than minor to minor impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions:

The Dovecote would be less affected by development of the Site than the other heritage assets as its wider setting would be affected. Inspection from within the grounds, may, however, reveal additional views that are relevant to this consideration. Even so, with development of the site, built form may be visible beyond the range of attached former farm / outbuildings in the distance and this would serve to erode the setting of the building due to the fundamental change from agricultural land to developed land with built form. Impact would be dependent on the density of development, layout and scale/design of dwellings.


Recommended mitigation measures: As for the Hall and ancillary buildings, pushing the Site boundary back or providing open space within a housing scheme on its eastern edge may serve to give some relief to the impacts on setting.

As for the Hall, built form should be locally distinctive and density, layout, scale and design should be carefully considered.

3. Summary of heritage impact

Whilst harmful impacts would be less for the Dovecote than the Hall and the other associated buildings to its north, the overall impact is considered to be harmful, due to the extent to which the character of the surrounding land would be changed, leading to harm to the setting of the buildings.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

 Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

The development of adjoining site, CAMB-C, together with CAMB-G, would result in much higher levels of harm than CAMB-G alone - this would warrant a RED score (defined as 'significant adverse impact on setting of designated heritage assets or involve loss of heritage asset'). This is because of the considerable harm that would be forthcoming from the development of the land which forms the immediate context to the Hall group (having formerly been part of the ground of the Hall) and which would effectively subsume the group. The development of CAMB-G in addition to CAMB-C would add further to the harmful sense of encroachment of development upon the Hall and impact on the relationship of the Hall with the surrounding land.

Author: Emma Gibbens BSc MSc IHBC

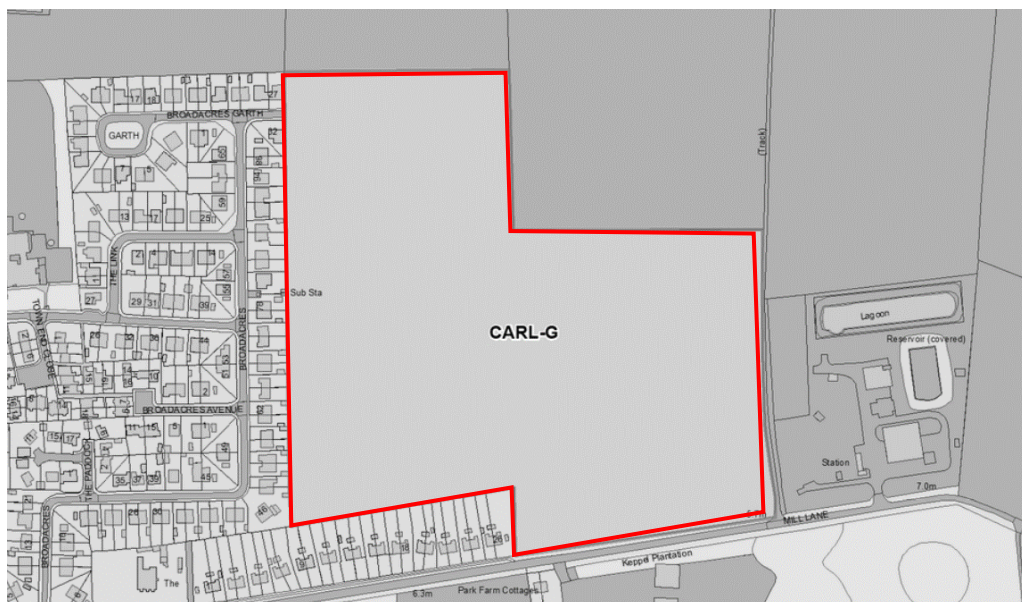
Date of report: 22nd February 2023

CARL-G Land north of Mill Lane, Carlton

1. The site

Site name / location: Land North of Mill Lane, Carlton (CARL-G)

Description of proposal: Housing.



Above: Map showing location of CARL-G

Description of context: The site consists of an agricultural use on the eastern fringe of the settlement of Carlton. There are further fields to the north-east. To the west is a modern housing development and to the south is Carlton Towers and its extensive grounds. Carlton Towers is a Grade I Listed Building.

2. Designated heritage assets

2.1. Carlton Towers

2.1.1. Carlton Towers - Identification of significance

Carlton Towers is a Grade I Listed Building.

The significance of Carlton Towers derives from:

- It being a good example of a 17th century large, high status house.
- Its overall architectural form and the retention of historic fabric.
- Architectural details such as windows, architrave, ashlar dressings, towers and turret.
- The interior plan form and features including drawing room, harp room, library, imperial oak staircase, minstrels gallery and picture gallery

- The orientation of the principal, south elevation to the south and with the more functional, north elevation facing the associated former outbuildings.
- The associated historic and traditional former farm / outbuildings to the north that are evidence of past agricultural activities (built of brick and converted). These are considered to be curtilage listed.
- Surrounding parkland.



Above: View 1 of Carlton Towers, the front elevation which faces south.



Above: Map 1 - Extract from OS Six-inch map surveyed 1849. Reproduced with the permission of the National Library of Scotland

The setting of Carlton Towers includes the surrounding woodland and parkland comprising wide open grassed areas, wooded areas, walled garden and associated outbuildings, which

can be experienced from within the grounds of Carlton Towers. The presence of Drax Power Station is a notable visual intrusion into some views of the Hall and is visible (along with the development site) from the tower.



Above: View 2 from the tower at Carlton Tower looking north towards Drax Power Station and the development site located beyond the Carlton Towers woodland

The development site forms part of the surrounding agricultural land to the north of Carlton Towers. Historic OS maps (see Map 1, above) shows that the land to the north of Mill Lane did not form part of the grounds of Carlton Towers and has historically been undeveloped. The land forms part of the setting of Carlton Towers due to the intervisibility and contributes to its significance.

In the overall hierarchy of significance value, Carlton Towers can be attributed HIGH significance value.

The curtilage listed outbuildings are of less significance value than Carlton Towers but form part of the overall group.

2.1.2. Carlton Towers - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

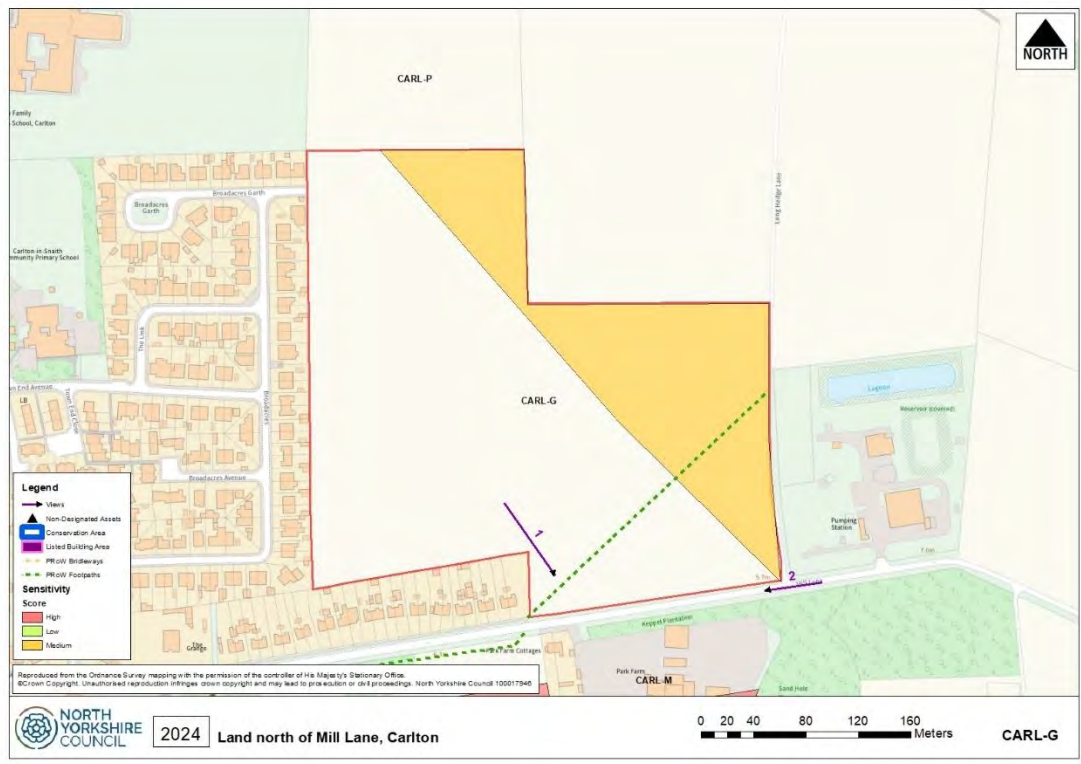
No Change - No change to assets or their settings

Summary of scale of impact: Potential for **minor** impact to setting, leading to overall high moderate impact to significance.

Reason for conclusions: The setting of Carlton Towers and the associated parkland would be altered as a result of development on site CARL-G. There would be a change of the character of the landscape from agricultural / non-developed land to developed land.

However, as the site abuts existing residential development, the development of the site would appear as an extension to the existing housing. Due to the existing context, this reduces the impact upon the setting of Carlton Towers. Focussing the development to the west side of the site would minimise the visual impact upon the setting.

Recommended mitigation measures / opportunities to enhance significance: In order to minimise the harm to the significance of the listed building, any new buildings to reflect the historic street patterns, building scale and materials.



Above: Map Analysis of CARL-G

3. Summary of heritage impact

The development of the site to construct residential properties would change the wider setting of the land to the north of Carlton Towers. Due to the existing context of modern residential development, there is unlikely to be harm caused to the significance of the designated heritage asset.

Any new housing to be appropriately designed to reflect the local distinctiveness of the area, taking into account street patterns, historic building types and materials.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: Anne Sims, BSc (Hons), MA, MRTPI

Date of report: 28/06/2023

CARL-M Land at Park Farm

1. The site

Site name / location: Land North of Mill Lane, Carlton (CARL-M)

Description of proposal: Housing.



Map 1: showing location of CARL-M

Description of context: Mill Lane located to the north. The site is located on the eastern fringe of the settlement of Carlton. There are further fields to the north-east. To the north-west is a modern housing development and to the south is Carlton Towers and its extensive grounds. Carlton Towers is a Grade I Listed Building.

The settlement developed organically in a linear form along the historic route between Selby and Snaith, now High Street. The area to the east of the historic settlement is dominated by Carlton Towers and its associated estate, an arrangement which is reflected in both Jeffrey's 1771 Map of Yorkshire and the First Edition OS Map of 1853.

Carlton is predominantly characterised by modest vernacular cottages, most of which are two storeys and back-of-pavement or set behind short front gardens. 20th century development within the village initially took the form of small infill buildings and groups of buildings along High Street and Low Street, before giving way to larger scale residential extensions at the fringes of the settlement, such as the 1960s Broadacres estate.



Map 2: Extract from Thomas Jeffrey's Map of the County of York, 1771.



Map 3: Extract from OS Six-inch map surveyed 1908. Reproduced with the permission of the National Library of Scotland

2. Designated heritage assets

2.1. Carlton Towers

2.1.1. Carlton Towers - Identification of significance



View 1 of Carlton Towers, the front elevation which faces south.

Carlton Towers was listed at Grade I level in November 1966 under list entry no.1295955.

The Carlton estate has been a base of patronage since 1301, when it was inherited by Nicholas Stapleton. The Stapletons were a prominent family in the Middle Ages hailing from Stapleton-on-Tees near Darlington, who later adopted the peerage of the Barons Beaumont. Carlton Towers was completed in the late 19th century and incorporates earlier 17th and 18th century ranges.

The house is set within an 18th century estate park which includes formal garden areas and informal parkland. Within the parkland there are designated assets including the gates, railings and piers and the 18th century folly near to the main entrance gates. The extensive parkland and ancillary site features contribute collectively to the setting of Carlton Towers. There are key views of the house within the parkland, including the views along the main driveway which were designed as part of the parkland. The height of the towers, results in the structure being visible from the surrounding village and wider countryside.

The significance of Carlton Towers derives from:

- It being a good example of a 17th century large, high status house.
- Its overall architectural form and the retention of historic fabric.
- Architectural details such as windows, architrave, ashlar dressings, towers and turret.
- The interior plan form and features including drawing room, harp room, library, imperial oak staircase, minstrels gallery and picture gallery
- The orientation of the principal, south elevation to the south and with the more functional, north elevation facing the associated former outbuildings.
- The associated historic and traditional former farm / outbuildings to the north are considered to be curtilage listed.
- Surrounding parkland.

The setting of Carlton Towers includes the surrounding woodland and parkland comprising wide open grassed areas, wooded areas, walled garden and associated outbuildings, which can be experienced from within the grounds of Carlton Towers. The main house is set on raised ground which allows views across the landscape. The presence of Drax Power Station is a notable visual intrusion into some views of the Hall and is visible from the tower.



View 2 from the tower at Carlton Tower looking north towards Drax Power Station and the development site located beyond the Carlton Towers woodland

CARL-M is located to the south of Mill Lane. The site is part of the historic parkland to Carlton Towers. Historic OS maps (see Map 3) shows that CARL-M formed part of the historic parkland of Carlton Towers. The land forms part of the setting of Carlton Towers due to the historic relationship.

In the overall hierarchy of significance value, Carlton Towers can be attributed **HIGH** significance value.

2.1.2. Carlton Towers - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for **MINOR** impact to significance.

Reason for conclusions: Views towards the site from Carlton Towers and within the estate parkland are limited by the existing and mature planting within the park and along its boundaries. Views towards the listed building from the CARL-M site are limited to very occasional, glimpsed views through and beyond the planted boundaries, including from along the public footpath within the site. During the winter months there would be greater visibility, although these views would be of the uppermost stages of the towers. The views reinforce the scale and prominence of Carlton Towers in the locality. Developing on the site would affect the setting of Carlton Towers.

3. Non-designated Heritage Assets

3.1 Carlton Towers Parkland

3.1.1 Carlton Towers Parkland – Identification of significance

Carlton Towers has an associated landscape park, it is not designated. The boundaries of the historic parkland are the same as those of the late 19th century. To the north it is bounded by Mill Lane, to the west by the A1041, to the south is Marsh Lane and to the east the boundary is marked by the 'New Bank', 'Three Pigeon Wood' and 'Long Wood' plantations.

The area around the house has had a series of ornamental gardens dating from the construction of the house in the early 17th century. The 'four square' garden with the raised walkway was constructed to the south of the house in 1672. These early gardens were removed in the late 18th century to allow the parkland to come right to the house. In the 1840s more formal elements were reinstated to the south and east with the new courtyard and entrance. To the north, shrubberies were added alongside the earlier tree planting. In the late 19th century the parterre and 'Italian' garden were added. The walled garden was constructed according to Woods' 1765 plan.

Carlton Park is the setting for Carlton Towers, a Grade I listed building. The designed landscape at Carlton Towers has been developed over 400 years by its owners, the Stapleton family. The Stapletons had economic restrictions placed on them but this meant they devoted much of their time to the management of their estate. This included the

parkland around the house, the productive kitchen garden and also gardens for pleasure. They used designers to improve their estate, including Richard Woods in 1765 and Thomas White in 1773. The current parkland is now at its largest extent and provides an important green space for the local area.



Map 4: Boundary of the Carlton Towers Park and Garden

3.1.2. Carlton Towers Parkland - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

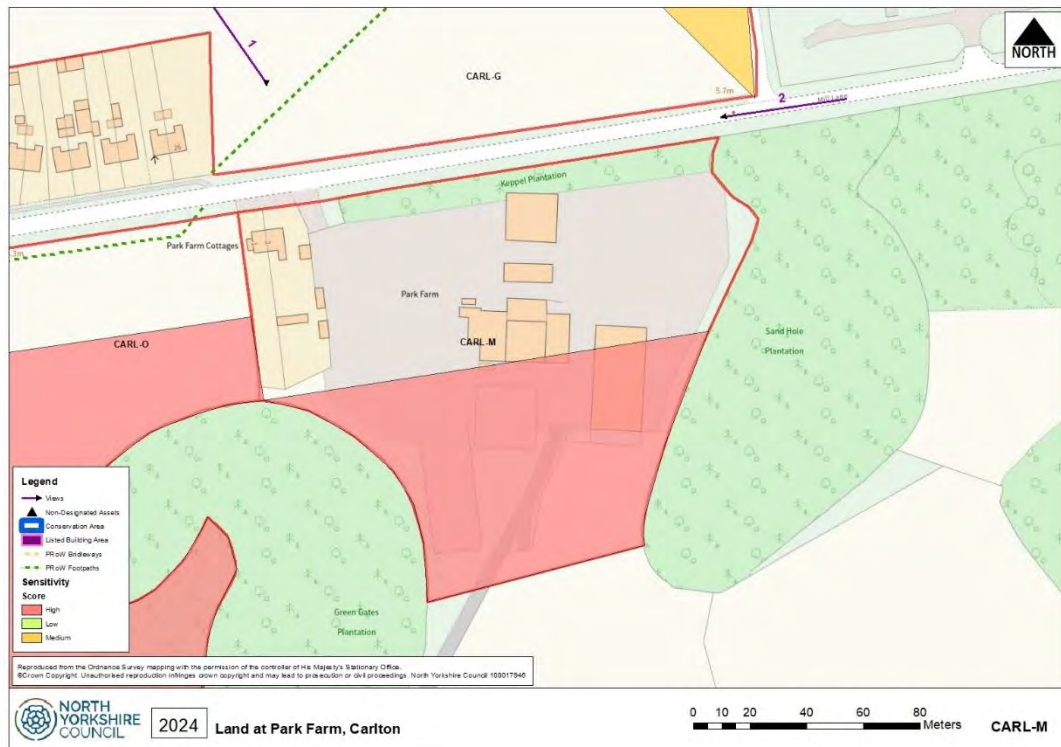
No Change - No change to assets or their settings

Summary of scale of impact: Potential for **minor** impact to significance.

Reason for conclusions: The site CARL-M is within the Carlton Towers park and garden, a non-designated heritage asset. The development of CARL-M with mixed use, would alter the appearance of this corner of the parkland.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to the local character and building layout. Use traditional local materials. Development to show an understanding of local distinctiveness

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to the local character and building layout. Use traditional local materials. Development to show an understanding of local distinctiveness.



Above: Map showing areas of sensitivity of CARL-M

4. Summary of heritage impact

The development of the site to construct residential properties would change the wider setting of the land to the north of Carlton Towers. Due to the existing context of modern residential development, there is unlikely to be harm caused to the significance of the designated heritage asset.

Any new housing to be appropriately designed to reflect the local distinctiveness of the area, taking into account street patterns, historic building types and materials.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: Anne Sims, BSc (Hons), MA, MRTPI

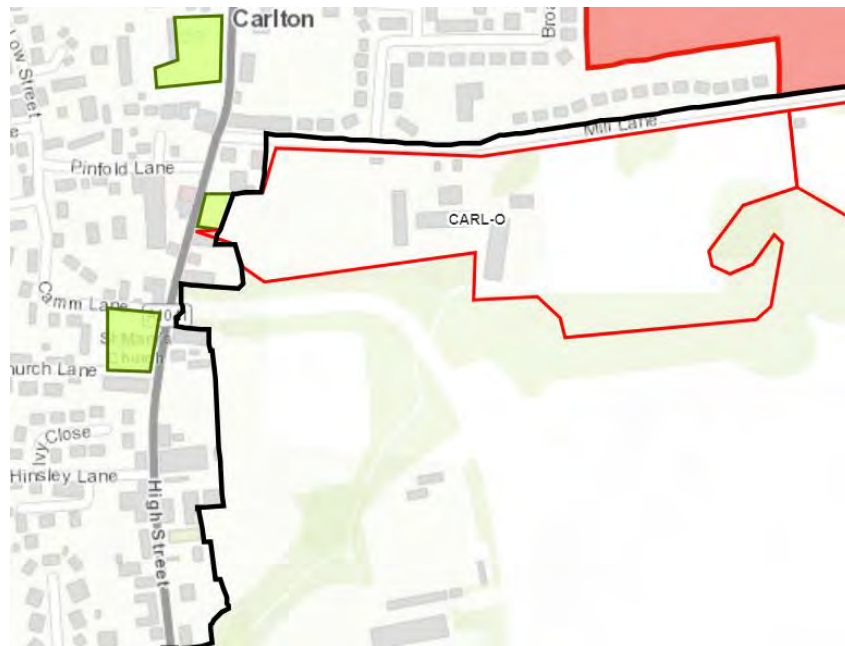
Date of report: 26/07/2023

CARL-O Land South of Mill Lane

1. The site

Site name / location: Land South of Mill Lane, Carlton (CARL-O)

Description of proposal: Mixed Use



Map 1: showing location of CARL-O

Description of context: Mill Lane located to the north, structures in the centre of the site. To the west and north is existing residential development. Open land to the north-east. To the south is the Grade I Carlton Towers and its non-designated parkland. CARL-O is partially located within the historic parkland of Carlton Towers (see Map 2).

The settlement of Carlton developed organically in a linear form along the historic route between Selby and Snaith, now High Street. The area to the east of the historic settlement is dominated by Carlton Towers and its associated estate, an arrangement which is reflected in both Jeffrey's 1771 Map of Yorkshire and the OS Map of 1849.

Carlton is predominantly characterised by modest vernacular cottages, most of which are two storeys and back-of-pavement or set behind short front gardens. C20 development within the village initially took the form of small infill buildings and groups of buildings along High Street and Low Street, before giving way to larger scale residential extensions at the fringes of the settlement, such as the 1960s Broadacres estate.



Map 2: Extract from Thomas Jeffrey's Map of the County of York, 1771.



Map 3: Extract from OS Six-inch map surveyed 1908. Reproduced with the permission of the National Library of Scotland

2. Designated heritage assets

2.1. Carlton Towers

2.1.1. Carlton Towers - Identification of significance



View 1 of Carlton Towers, the front elevation which faces south.

Carlton Towers was listed at Grade I level in November 1966 under list entry no.1295955.

The Carlton estate has been a base of patronage since 1301, when it was inherited by Nicholas Stapleton. The Stapletons were a prominent family in the Middle Ages hailing from Stapleton-on-Tees near Darlington, who later adopted the peerage of the Barons Beaumont. Carlton Towers was completed in the late 19th century and incorporates earlier 17th and 18th century ranges.

The house is set within an 18th century estate park which includes formal garden areas and informal parkland. Within the parkland there are designated assets including the gates, railings and piers and the 18th century folly near to the main entrance gates. The extensive parkland and ancillary site features contribute collectively to the setting of Carlton Towers. There are key views of the house within the parkland, including the views along the main driveway which were designed as part of the parkland. The height of the towers, results in the structure being visible from the surrounding village and wider countryside.

The significance of Carlton Towers derives from:

- It being a good example of a 17th century large, high status house.
- Its overall architectural form and the retention of historic fabric.
- Architectural details such as windows, architrave, ashlar dressings, towers and turret.
- The interior plan form and features including drawing room, harp room, library, imperial oak staircase, minstrels gallery and picture gallery
- The orientation of the principal, south elevation to the south and with the more functional, north elevation facing the associated former outbuildings.
- The associated historic and traditional former farm / outbuildings to the north that are evidence of past agricultural activities (built of brick and converted). These are considered to be curtilage listed.
- Surrounding parkland.

The setting of Carlton Towers includes the surrounding woodland and parkland comprising wide open grassed areas, wooded areas, walled garden and associated outbuildings, which can be experienced from within the grounds of Carlton Towers. The presence of Drax Power Station is a notable visual intrusion into some views of the Hall and is visible from the tower.



View 2 from the tower at Carlton Tower looking north towards Drax Power Station. CARL-O is hidden by the trees within the parkland

CARL-O is located to the south of Mill Lane, part of the site is within the historic parkland of Carlton Towers, it has an historic relationship with the Grade I listed building and forms part of its setting.

In the overall hierarchy of significance value, Carlton Towers can be attributed **HIGH** significance value.

2.1.2. Carlton Towers - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for **MINOR** impact to setting.

Reason for conclusions – The setting of Carlton Towers and the associated parkland would be altered as a result of development on site CARL-O. There would be a change of the character of the site to an urbanised context for a mixed use site.

Recommended mitigation measures / opportunities to enhance significance: Focussing the development to the roadside would minimise the change to the former parkland and retain openness along the boundary of the Carlton Towers parkland. Limit the amount of development to the south and east of the site – the historic parkland area. In order to minimise the harm to the significance of the listed building, any new buildings to reflect the local building scale and materials.

3. Non-designated Heritage Assets

3.1 Carlton Towers Parkland

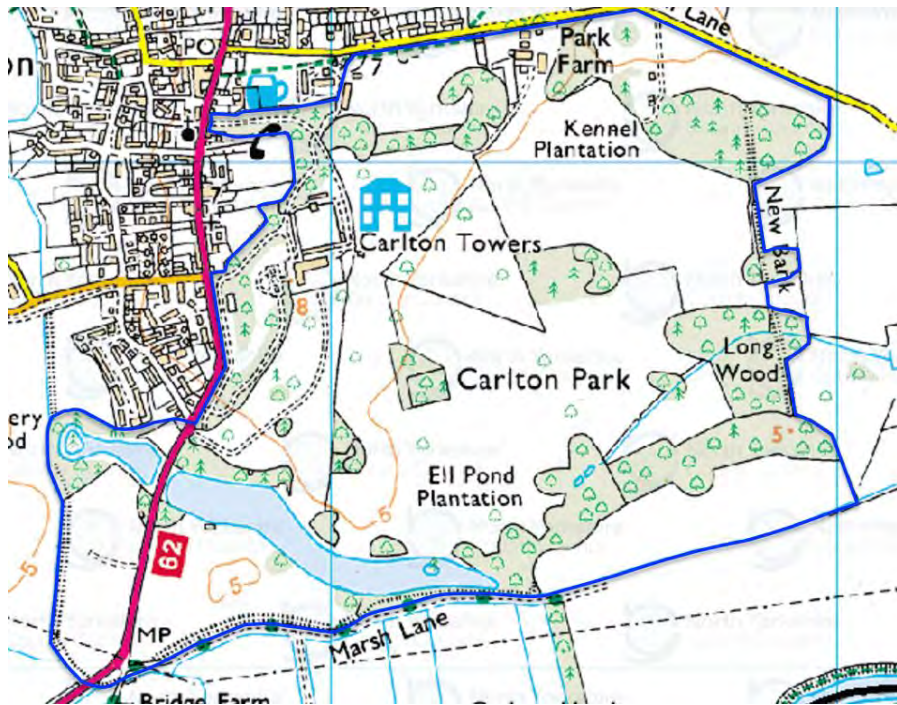
3.1.1 Carlton Towers Parkland – Identification of significance

Carlton Towers has an associated landscape park, it is not designated.

The boundaries of the historic parkland are the same as those of the late 19th century. To the north it is bounded by Mill Lane, to the west by the A1041, to the south is Marsh Lane and to the east the boundary is marked by the 'New Bank', 'Three Pigeon Wood' and 'Long Wood' plantations.

The area around the house has had a series of ornamental gardens dating from the construction of the house in the early 17th century. The 'four square' garden with the raised walkway was constructed to the south of the house in 1672. These early gardens were removed in the late 18th century to allow the parkland to come right to the house. In the 1840s more formal elements were reinstated to the south and east with the new courtyard and entrance. To the north, shrubberies were added alongside the earlier tree planting. In the late 19th century the parterre and 'Italian' garden were added. The walled garden was constructed according to Woods' 1765 plan.

Carlton Park is the setting for Carlton Towers, a Grade I listed building. The designed landscape at Carlton Towers has been developed over 400 years by its owners, the Stapleton family. The Stapletons had economic restrictions placed on them but this meant they devoted much of their time to the management of their estate. This included the parkland around the house, the productive kitchen garden and also gardens for pleasure. They used designers to improve their estate, including Richard Woods in 1765 and Thomas White in 1773. The current parkland is now at its largest extent and provides an important green space for the local area.



Map 4: Boundary of the Carlton Towers Park and Garden

3.1.2. Carlton Towers Parkland - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

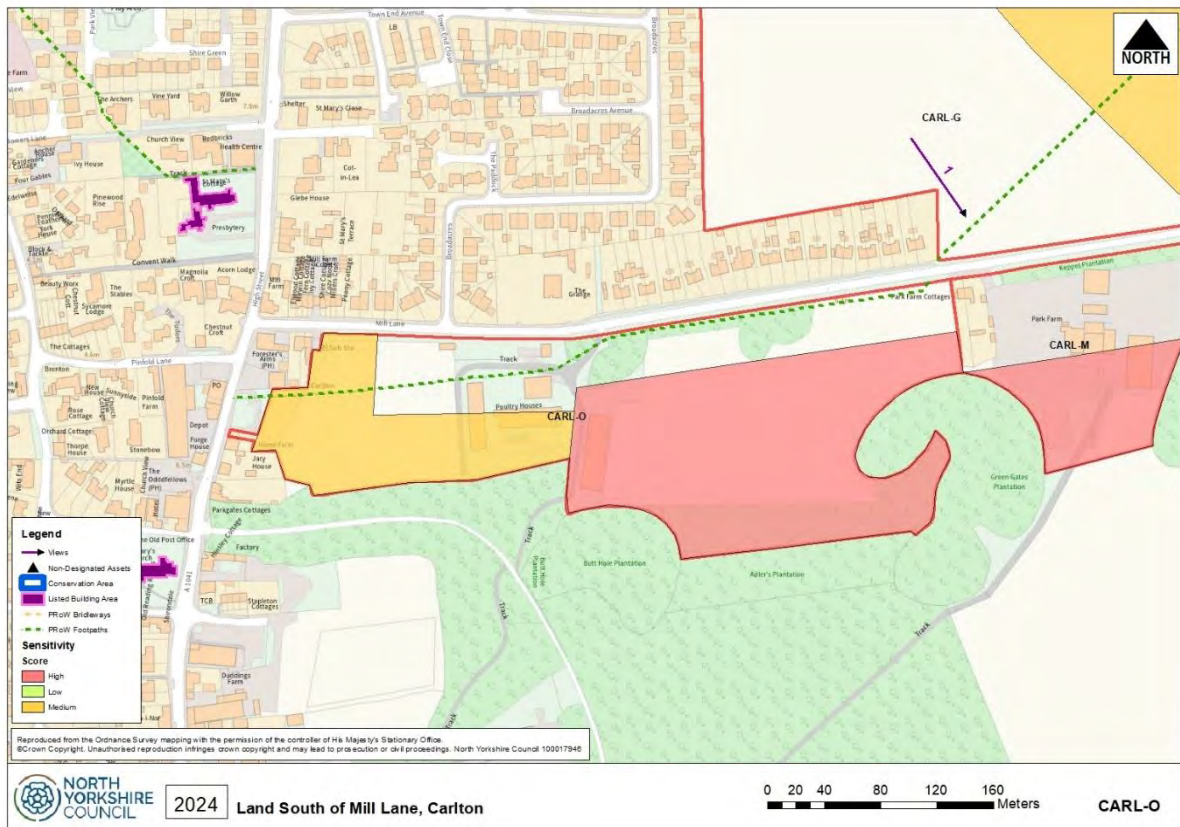
Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for **minor** impact to significance.

Reason for conclusions – The site CARL-O is within the Carlton Towers park and garden, a non-designated heritage asset. The development of CARL-O with mixed use, would alter the appearance of this corner of the parkland.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to the local character and building layout. Use traditional local materials. Development to show an understanding of local distinctiveness



Above: Map showing areas of sensitivity of CARL-O

4. Summary of heritage impact

The development of the site to mixed use would change the character of the land to the north of Carlton Towers and alter the setting of the Grade I listed building.

Development should be appropriately designed to reflect the local distinctiveness of the area, taking into account street patterns, building plots and footprints, historic building types and materials.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: Anne Sims, BSc (Hons), MA, MRTPI

Date of report: 26/07/2023

CFAB-A Land at Church Fenton airfield: New Settlement Proposal

1. The site

Site name / location: CFAB-A Land at Church Fenton airfield. Located to the north east of Church Fenton village.

Description of proposal: New settlement. Form/design unknown but expected to comprise aspects such as housing, local centre, open space.

Description of context: The site is part of the former RAF Church Fenton airfield, dating to the time of World War II. The airfield is still active but as a private facility (Leeds East Airport). The buildings have been re-purposed in recent years so that they provide a mix of office and media facilities. The site is also used to host large outside events such as music festivals.

The airfield is located within a wider agricultural context, surrounded by fields. Busk Lane forms its boundary on the west and Bracken Hill Lane on the south (both of rural character with grass verge and hedgerows/trees in hedgerows). The settlements of Ulleskelf and Church Fenton are located to its north and south west respectively. Otherwise, development is dispersed in the form of farmsteads.

To the north of the airfield and its associated buildings is located housing (assumed to be RAF dwellings), with a more recent development having been added to the west of Busk Lane.

2. Designated heritage assets

2.1 World War II airfield defences at RAF Church Fenton (scheduled monument)

2.2 World War II airfield defences at RAF Church Fenton - Identification of significance

The defences are a scheduled monument (list entry no. 1021191*). The list entry enables a thorough understanding of the history and significance of the airfield defences. They are part of the former RAF Church Fenton airfield which was built pre-war (late 1930's) as part of the expansion period of airfield construction (at a time when the RAF increased facilities in response to Hitler's activities in Germany).

The air defences were provided as airfields were considered vulnerable from attack. This is an example of an airfield defence that survives well. Church Fenton was one of few fighter stations in the north of England and one of few where significant remains of the defences relating to the Battle of Britain survives.

The scheduling includes (see map analysis on page 5 for locations):

- Group of four dispersal pens on the south east of the perimeter of the airfield, three of which are located around an oval-shaped taxiing track. Such pens were designed to hold fighter aircraft around the perimeter but with access to the runways. Larger E shaped style. Earthen ramparts with concrete floor covered in asphalt. 70m x 40m. Early examples. Support buildings, that serviced the fighter pens, enabling them to be ready for action, survive as a series of concrete footings and slight earthworks.
- Group of four dispersal pens in a line on the south of the perimeter. Smaller E shaped style. Early examples. Bays within slightly smaller (for smaller aircraft). 50m x 30m. No remains of support building remain.
- Battle headquarters (north east perimeter), provided to coordinate ground defences. Earlier example (later building has been demolished). A rectangular-shaped underground bunker concealed under a mound of earth.
- 2 survivors of an original group of 14 gun posts (for ground defence). Located on a raised mound in the centre of the south eastern group of pens (keyhole shaped design allowing for gun installation and ammunition store). Second located to the north of the technical site (brick built structure with circular gun pit).
- Pillbox, located in the south west corner of the airfield. Virtually intact. Type 24 pillbox, irregular hexagonal type.



Above: Photo 1 - View 1 looking east into the airfield. Pillbox present on far right hand side, with two of the earthworks of the group B dispersal pens adjacent to the perimeter track.



Above: Photo 2 - View 2 looking north into the airfield from Bracken Hill Lane. Earthwork of one of the group B dispersal pens present to the right.

Other elements of the World War II RAF station still survive at Church Fenton and are not included in the monument (see non-designated heritage assets, below). Those sections of the original perimeter track of the airfield, and those sections of hard standing for aircraft which lie within the area of protection are however specifically included.

The structures have not been inspected but their significance is expected to derive from elements such as:

- The structures are a good survival of early airfield air defences dating from World War II.
- Being one of few examples nationally where significant remains of the defences of a Battle of Britain station still survives.
- The presence of original structures/earthworks which evidence the original function of the structures.
- Being direct evidence of the military history of the country.
- The extant relationship with the airfield (still in use as such) that the defences served and which provide its immediate setting.

In the overall hierarchy of significance value, **HIGH** significance value can be attributed.

All features (except for the north gun post) of the scheduled monument fall within the site boundary. The site comprises the airfield (open space / runways) to which the features are inherently linked. The site area is therefore an integral part of the overall heritage asset of the airfield and also forms the immediate setting of the scheduled monument.

2.3 World War II airfield defences at RAF Church Fenton - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

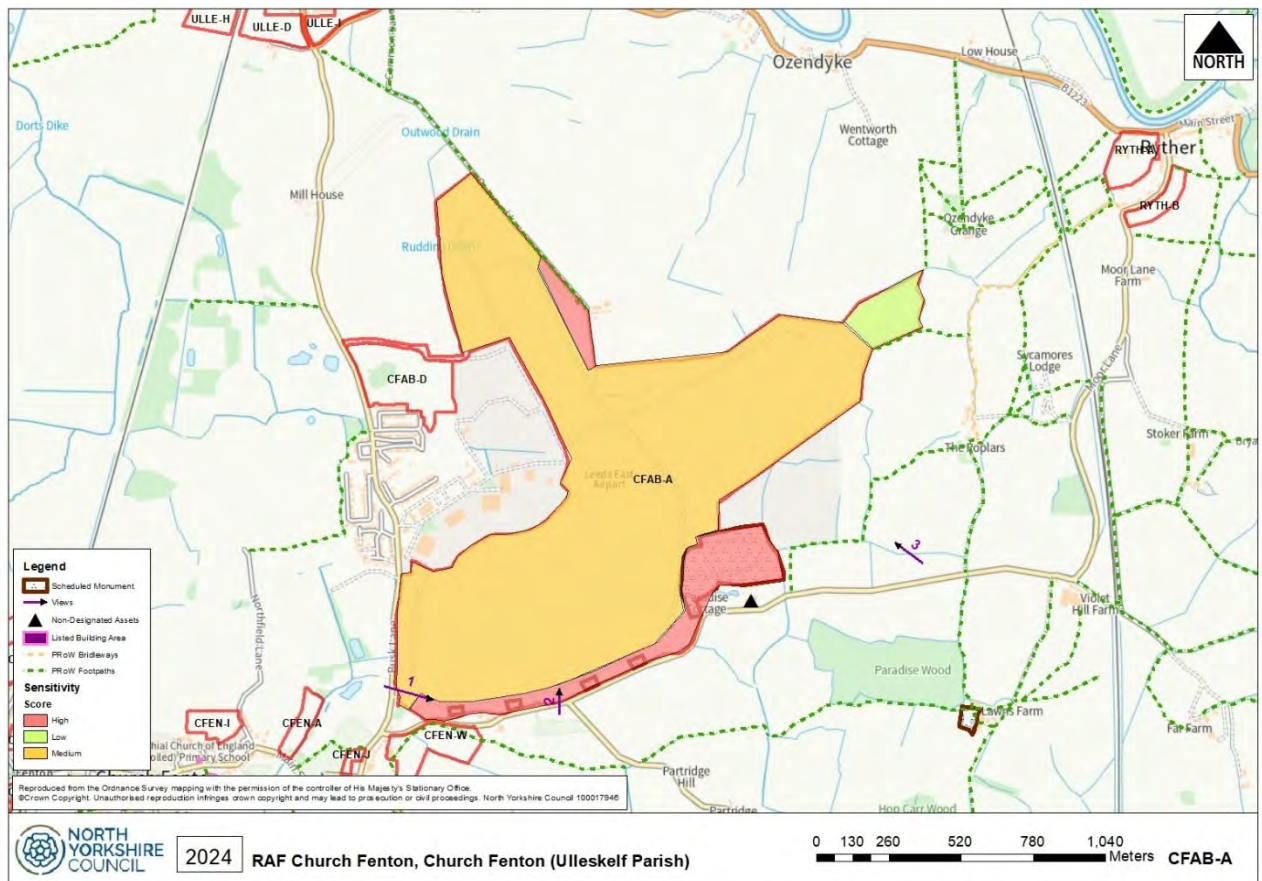
No Change - No change to assets or their settings

Summary of scale of impact: Potential for MAJOR scale of impact to significance, either to setting or direct physical impact. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: The provision of a new settlement on the airfield has the potential to directly affect the scheduled monuments. Removal of the assets would result in the most severe form of harm to their significance.

Even with retention, large scale development of the airfield in the form of housing and associated features/spaces will have a major impact on the inherent relationship of the air defences with the airfield; this will also result in a severe harm to significance.

On the map analysis, below, the features of the scheduled monument and their immediate context are identified as being of the highest sensitivity. Further consideration would be required to establish the exact context of the features which should be considered of importance to their significance (for example, how the dispersal pens relate to the perimeter track). The remainder of the airfield is identified as being of medium significance so as to differentiate between the designated and non-designated assets (but that is not to mean that development on the airfield would not result in major impacts). The area of lesser sensitivity is of unknown function in relation to the airfield (being a grassed area located between fields), but further investigation is required to ascertain whether it should be included with the medium sensitivity zone.



Above: Map analysis of CFAB-A showing location of heritage assets, views and areas of sensitivity.

3.0 Recommended mitigation measures / opportunities to enhance significance:

The Historic England website states that *'former airfields can present potentially attractive large brown field sites for redevelopment. Many embody strong commemorative values as monuments to the aircrew who flew from them never to return. Before redevelopment it's important to understand the history and inherited character of these places.'**

Should the provision of the new settlement across the Site be forthcoming, the development should be designed in such a manner as to avoid loss of the scheduled monument, minimise impact to its context and otherwise provide a sense of place that relates to the history of the Site as a former RAF airfield.

The following mitigation measures and opportunities to reveal significance should be considered:

- Prior to design of development, full historic analysis of the airfield to be carried out so that design can be made on an informed basis, taking into account the significance of the elements of the Site.

- Opportunities be taken to engage with the public to draw out the communal value of the airfield, leading to actions such as including local accounts within educational material / interpretation.
- Provision be made for education within local schools (particularly if a school is to be provided on the Site itself) relating to the history of the airfield.
- Retention and restoration of the scheduled monuments so that they become part of the new settlement in a meaningful manner – for example, providing public open space around the features, allowing for exploration and understanding of the assets. For example, it will be particularly important that the dispersal pens remain in context with the perimeter tracks.
- Provision of interpretation on the site to enable understanding of the history of the former airfield.
- Provision of road names and other features with names relating to the history of the site.
- Within the design of the new settlement, consideration be given to aspects such as: defining the airfield track layout in a meaningful manner, allowing the relationship of the hangars to the open airfield to remain legible and provision of building types that are contemporary forms of locally distinctive buildings that also may take inspiration from the history of the airfield (as opposed to standard house types or houses that are a pastiche of historic types).
- Provision of appropriate edges to the site where the Site adjoins open countryside (taking into account the rural character of the surrounding land).
- If relevant, associated restoration of buildings/features within the part of the airfield site that sits outside the Site boundary so that the significance of the elements of the non-designated heritage asset may be enhanced.
- Also, consideration of identification of the view to the grade II listed Grimston Tower, part of the Grimston Park Estate located to 6.5km to the north-west (visible in the distance in view 3, see photo 6 on page 9) within the development, perhaps through placement of public open space or via a vista within built form.

4. Non-designated heritage assets

4.1 Church Fenton airfield – identification of significance

As identified above, a number of air and ground defence features are scheduled monuments, but the remainder of the airfield is not designated. This comprises several buildings such as hangars, offices, chapel and gate house and also the hardstanding of the runways and perimeter track.



Above: Photo 4 showing entrance off Busk Lane with distinctive brick buildings, typical of the late 1930's RAF airfield types.

Assumed aircraft hangars are located at the north western edge of the airfield, facing south to give access to the runways. Two hangars may have been replaced as these are not to the same brick construction as the others (see photo 5, below). To their north are located the ancillary buildings, arranged in a grid layout, with access of Busk Lane (see photo 4, above).



Above: Photo 5 showing aircraft hangars present in context with the airfield tracks.

The airfield and buildings have not been inspected but their significance is expected to derive from elements such as:

- Being a good surviving example of a pre-World War II airfield and one of few fighter stations in the north of England.

- The survival of many original elements of the airfield, including tracks and buildings such as hangars.
- The survival of the brick built ancillary buildings (such as those at the entrance), typical of the pre-war building types of RAF airfields.
- The inherent relationship to air and ground defences that are designated heritage assets.
- Its setting within an expansive landscape, which demonstrates the openness required for the functioning of the airfield.

In the overall hierarchy of significance value, MEDIUM/HIGH significance value can be attributed due to the importance of this element of the country's military history.

The site comprises the airfield (open space / runways and tracks) to which the features and buildings (both designated and non-designated) are inherently linked. The scheduled monuments are located within the site area but the hangars and associated buildings to its north are located outside the boundary to the north. The Site area is therefore an integral part of the heritage asset and also forms the setting of elements of the designated airfield defences.

4.1.2. Church Fenton airfield - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for MAJOR scale of impact to significance, either to setting or direct physical impact. Potential to reduce level of impact using mitigation measures.

Reasons for conclusion: The airfield is still in use and this reflects the original use; loss of this use will harm the legibility of the history of the Site.

The buildings located outside the Site area will be retained but the provision of a new settlement on the airfield will directly affect the airfield tracks and open spaces surrounding them and it is assumed, will essentially lead to their loss. This will result in a fundamental change to the setting of the hangars and associated buildings located to the west of the Site – the inherent relationship between the two will be lost.

The way the airfield buildings are experienced in the open rural setting will fundamentally change through the change of use of the land and introduction of built form.

Recommended mitigation measures / opportunities to enhance significance: The same measures apply as for the airfield defences, see section 3.1.2, above.

4.2 Paradise Grange Farm

4.2.1. Paradise Grange Farm – identification of significance

This is a historic, former farmstead, now converted to residential use. It is located to the north of Bracken Hill Lane and south of the edge of the airfield, in the location of the group A dispersal pens), outside the Site area. It comprises a former farmhouse and range of farm/outbuildings in a U shaped layout (farmhouse located to the north east corner of the range, set back from the lane. Visible on mid-19th century OS maps are ‘Brackenhill’ but changing to ‘Paradise Grange Farm’ by 1906, by which time also the U-shaped range had been extended further north towards the farmhouse. Buildings built of local brick with pan tile roofs. Despite conversion, it is still legible as a former farmstead. It is surrounded by open countryside on its south and east sides.

The heritage asset has significance as a historic farmstead of local building types, set out to a traditional layout with farmhouse positioned adjacent to a U-shaped arrangement of farm buildings, forming a courtyard. The farmstead evidences an historic, agricultural use and the relationship with the surrounding fields contributes positively to setting in enabling the farmstead to be experienced in a rural context.

In the overall hierarchy of significance value, it would fall into the LESSER category.



Above: Photo 6 - View 3 looking north-west towards Paradise Grange Farm on Bracken Hill Lane with the airfield, including buildings visible beyond.

The Site is located immediately to the north of the farmstead, next to the group A dispersal pens of the scheduled monument. The largely open form of the airfield minimises an intrusive impact from its presence (especially when there is no activity on the airfield), but the large hangar buildings are visible in views looking north-west from Bracken Hill Lane (see view 3, above). On the whole, the Site can be said to have result in a positive contribution to the setting for the former farmstead as it allows the heritage asset to be experienced in a largely rural context – although the airfield tracks are present, the lack of built form and openness of the airfield integrate well with the surrounding countryside. This therefore aids legibility of its former agricultural use.

4.2.2. Paradise Grange Farm – identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate impact on setting leading to MINOR scale of impact on overall significance. Potential to reduce level of impact using mitigation measures.

Reasons for conclusion: Although the majority of the rural context of the farmstead would not be affected, the introduction of built form of a suburban character would change the positive contribution the Site makes to setting to a negative one, because the way the farmstead is experienced in a largely rural character of land will be changed on its northern side. The provision of housing close to it, on the southern edge of the Site would be the most intrusive (however, as this part is the scheduled monument, development is in any case not recommended in this location).

Recommended mitigation measures / opportunities to enhance significance:


- Avoidance of development on land immediately to the north of the former farmstead.
- Otherwise, provision of a Site edge (on the eastern part of the Site) that integrates well with the open countryside (taking into account factors such as density, building sale / massing and landscaping).

5. Summary of heritage impact

The provision of a new settlement on the Site will have significant major impact on the setting and potentially fabric, of the scheduled monument (airfield defences). Even with retention of the heritage assets, the important relationship with the airfield will be lost and therefore impact on significance will still be major. Related harmful impacts will be forthcoming to the airfield itself (identified as a non-designated heritage asset). Additional minor impact may be forthcoming to the non-designated heritage asset of Paradise Grange Farm.

However, in providing a new settlement, there is great potential for place-making so that the development is designed in a manner that embraces its military history and so that opportunities are taken to engage with the public, design the development on an informed basis and reveal significance. Providing mitigation measures and opportunities for revealing significance will help off-set the harmful impact to some extent.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

 Significant adverse impact on setting of designated heritage assets or involve loss of heritage asset.

Author: Emma Gibbens BSc MSc IHBC

Date of report: 30th May 2022

****References:***

Historic England list entry 1021191: [World War II airfield defences at RAF Church Fenton, Church Fenton - 1021191 | Historic England](#)

Historic England website: [Historic Military Airfields | Historic England](#)

Information on current use of airfield site: [Church Fenton](#)

EGGB-Y Land west of Kellington Lane, Eggborough

1. The site

Site name / location: EGGB-Y Land west of Kellington Lane, Eggborough. Located to the west of the settlement.

Description of proposal: Mixed use development including residential, open space and education. Form/design unknown.

Description of context: The Site spans several agricultural fields, adjoining the western built up edge of Eggborough, set in a wider agricultural context. The A645 forms its northern boundary and Kellington Lane its eastern boundary. At the south, the railway line forms its boundary. To the west, the boundary follows that of a field. Apart from a few buildings located to the west of Kellington Lane, close to the railway station, development is located to the east of the lane (post war and later housing). A public footpath runs north to south through the site, within the western edge of the site (the footpath then continues north-west, to the north of the A645, to the Church of St Edmund).

2. Designated heritage assets

2.1. Church of Saint Edmund - Identification of significance

The church is a grade I listed building. It has Norman origins, with a mid-12th century reconstruction and further 14th and 15th century alterations and a 19th century chapel. It is built of Magnesian limestone ashlar with tower.

The church's significance derives from aspects such as:

- Being an example of an early church, dating back to Norman period.
- Its architectural form, design and detailing and the way in which it has been altered over time.
- Its function as a religious building.
- Its communal value as a public / religious building.
- Its location away from the settlement which will relate to land ownership at the time it was built / potential changes over time relating to the location of the settlement.
- Its rural setting and the extent of separation maintained between it and Kellington.
- The way in which it forms a landmark in the landscape.

The 'Gate Piers to St Edmund's Churchyard' are subject to a separate grade II listing, as is the 'Churchyard Cross, St Edmund's Churchyard approximately 5 metres to South of Porch.'



Above: Church of St Edmund, near Kellington.

In the overall hierarchy of significance value, the listed building can be attributed HIGH significance value.

The Site does not form the immediate setting of the church and does not relate to the relationship of the church to Kellington, but can be considered to form part of its wider agricultural context. The ability to experience the church (which acts as a landmark feature), separate to the nearest settlement, in the wider context, including from roads and potentially from the public footpath that runs through the site makes a positive contribution to setting and therefore significance.

2.2. Kellington Windmill - Identification of significance

The windmill is a grade II listed building. The list entry describes this as a late 18th / early 19th century windmill. Built of Magnesian limestone stone with opening with segmental arches over. No sails present. The building has been converted, mostly likely to residential use, with single storey extension added to its south. A long building appears to its south by the 1905 OS maps and a building of similar footprint is still present. It's historic / current use is unknown.

Although now converted / altered, it still retains significance because of:

- It essential form as a windmill, having a distinctive design, scale and massing.
- The evidencing of historic means of milling.
- Its rural setting and the way in which it forms a landmark in the landscape.

In the overall hierarchy of significance value, the conservation can be attributed MEDIUM significance value.

The maintenance of a rural setting assists in being able to the aid the legibility of the site as one which historically relates to farming practices. Although the Site is not located immediately adjacent to the windmill, it sits within a wider agricultural context which assists in offering the ability to experience it from identified points on the road network and from the public footpath. This contributes positively to setting and therefore significance.

2.3. Church of Saint Edmund and Kellington Windmill - Identification of impact on significance

Note: The identification of impact on significance is given here for both heritage assets due to similar impacts.

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for low-moderate impact to setting, leading to overall MINOR scale of impact to significance.

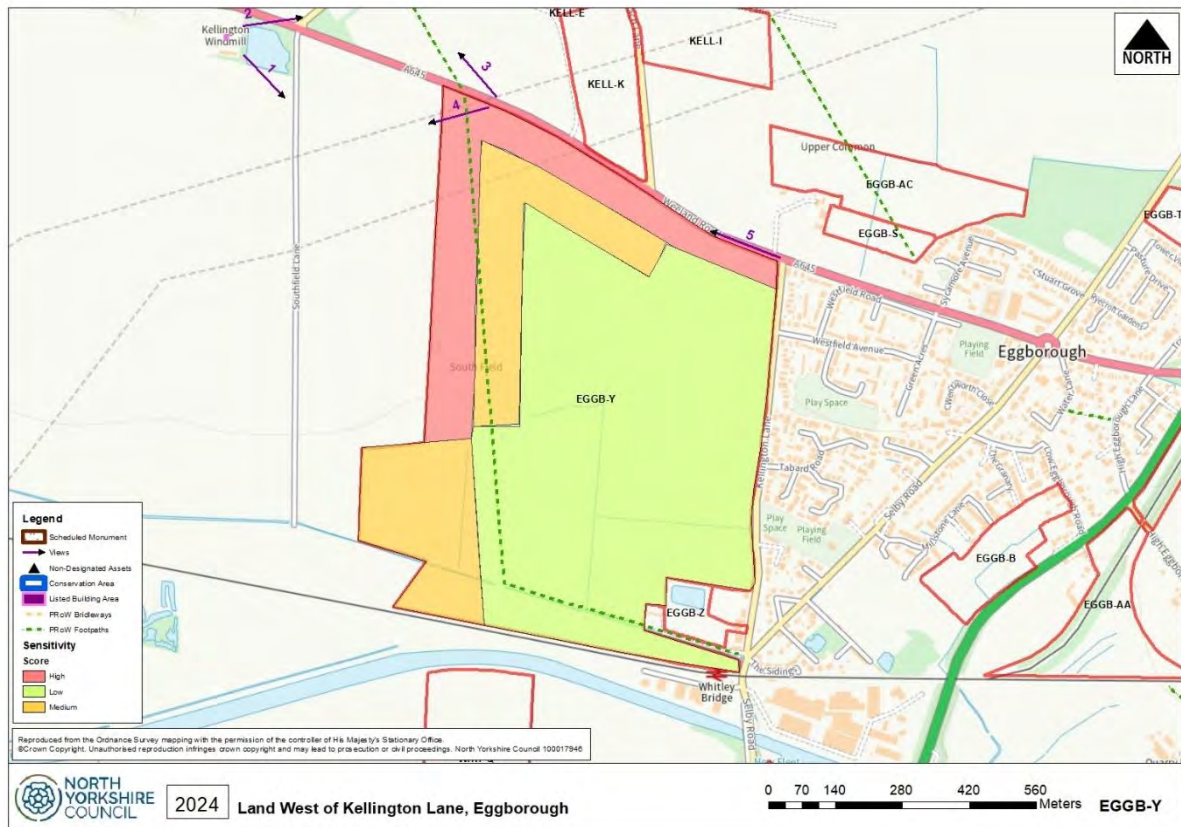
Reason for conclusions: On exit from the built up edge of Eggborough, travelling on the A645 (along the northern boundary of the site), both the windmill and church can be seen in the distance. Whilst the windmill remains in view, the church is at times obscured by features such as the buildings of the Poskitts site to the north of the road. At closer range, the two listed buildings are seen clearly together. The extent of visibility will differ

depending on the height of the roadside hedgerows. The windmill and church tower can be seen in the distance from Kellington Lane. It is highly anticipated there is also an opportunity to experience the heritage assets from the public footpath running through the Site.

In the case of the windmill, although not inspected, it is anticipated that the experience of the heritage asset within the property itself would likely afford views to development introduced within the Site. For the church, this appears to be largely unlikely due to intervening trees / features.

Both being fundamentally rural buildings, built away from settlements, the ability to experience them in a rural context is important. The Site is set well back from the heritage assets but the available views in the context of the Site are likely to be affected by the provision of built form – in particular for the windmill, views of it are likely to be blocked by provision of built form on the northern edge of the Site.

Whilst the existing rural context is not free of development (settlements, large scale farm buildings, electricity pylons, a power station), the provision of development would affect the way in which the heritage assets are experienced to their east because the built up edge of Eggborough would encroach into their rural setting and the character of the land would change. The experience of the windmill from the public footpath is likely to be highly affected. However, in particular for the church, there are various other points on the surrounding roads/lanes that the buildings can be experienced in their overall rural setting.



Above: Map analysis of EBBG-Y.

Recommended mitigation measures / opportunities to enhance significance (for both):

The following mitigation measures are recommended:


- Setting back development from the north-west corner of the site, a point at which the two heritage assets can be clearly viewed together.
- The potential for creating a set-back on the northern boundary. This will both assist in retaining views of the windmill but also in general will allow for measures to integrate the Site edge with the surrounding countryside.
- Consideration of whether the Site boundary should be set back to the east of the public footpath, or otherwise provide a landscape buffer / public open space on this edge with footpath located within, so the rural experience of the footpath can be maintained (which would include views to the windmill and then provide a more appropriate connection to the remaining footpath to the north of the A625 which leads onto the church).

- Built form should be locally distinctive or where this is difficult to achieve (for example, school buildings), be designed to integrate well with the overall scheme and contribute to place-making.

- In general design terms, the consideration of Site edges to be designed to integrate well with the surrounding countryside / rural setting. For example, avoidance of hard / uniform building line, appropriate landscaping and provision of hedgerow boundaries to site edges (avoidance of standard fencing). Such landscape related measures may in themselves go some way to resolving to the heritage focused issues raised.

3. Summary of heritage impact

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

 Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: Emma Gibbens BSc MSc IHBC

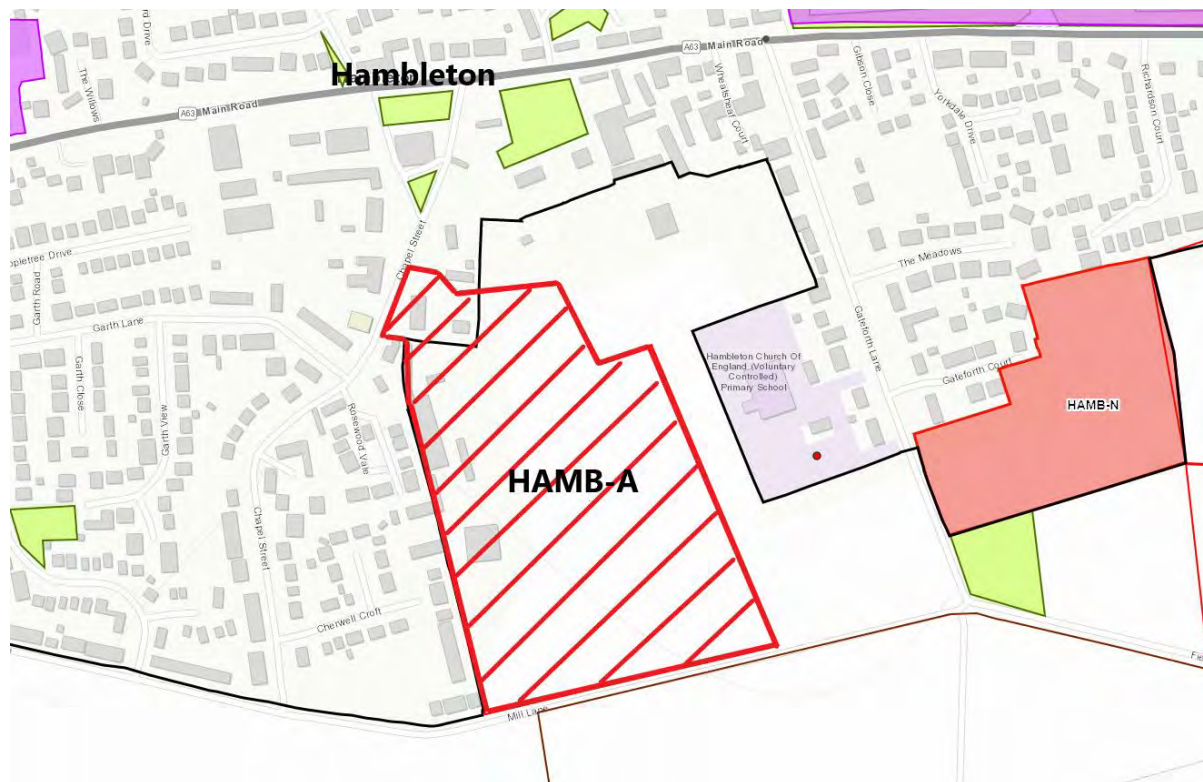
Date of report: 19th August 2022

HAMB-A Manor Farm, Chapel Street, Hambleton

1. The site

Site name / location: HAMB-A Manor Farm, Chapel Street, Hambleton

Description of proposal: Housing.



Above: Map 1 showing location of HAMB-A

Description of context: The Site comprises agricultural fields, enclosed by hedgerows. Mill Lane runs along its south edge and the housing developments of Cherwell Croft and Rosewood Vale adjoin it on its west edge. To its east is located another field. Within the site, on the western edge, is a farmstead comprising both historic and modern farm buildings, a track access leading north through it from Mill Lane, adjoining Chapel Street further to the north. Where the Site adjoins Chapel Street there is a cleared site where the former Manor House was located. Here, a stone boundary wall fronts the street, with trees behind.

2. Designated heritage assets

2.1. Garth House

2.1.1. Garth House - Identification of significance

Garth House is a grade II listed house. The list entry identifies it as dating from the early to mid-18th century with both 19th and 20th century alterations and additions. Built from red-

brown brick with pantile roof, it is a tall two storeys (with attic rooms), with a three bay frontage with central entrance door. The 18th century detailing of 'tumbling-in' is present on the gables.



Above: View 1 of Garth House, looking south east from Chapel Street.

Garth House is located in close context with the farm buildings behind but there was also a relationship to the former Manor House, now demolished (also known as 19 Chapel Street). Historic OS maps show this relationship, see Map 2, below. The naming of Manor House suggests that the farm, named as Manor Farm, was associated with it. The historic OS maps suggests the range of farm buildings are part of the same group but the exact relationship between the former Manor House and Garth House is unclear. The date of Manor House is unclear and the image from 2009 suggests that renovations have been carried, making an assessment more difficult (see photo 1, below).

A listed building consent application dating from 2014 shows that the small, stone building to the rear, right of the house (as visible in the photo above) is in the same ownership of the house. This was described as a granary within the application. It is constructed of local limestone with a clay pantile roof. The heritage statement suggests a date of around the mid-18th century, which would be contemporary with the house. This is considered to be a curtilage listed structure to Garth House. Although not shown on Map 1, above, it does not seem that the granary falls within the Site boundary.



Above: Map 2 - Extract from OS Six-inch map surveyed 1845-48 (annotated by author).

Reproduced with the permission of the National Library of Scotland and can be accessed at:

[View map: Ordnance Survey, Yorkshire 220 \(includes: Monk Fryston; Sherburn in Elmet; South Milford.\) - Ordnance Survey Six-inch England and Wales, 1842-1952 \(nls.uk\)](#)

The significance of Garth House derives from elements such as:

- It being a good example of an 18th century house.
- Its overall architectural form and the retention of historic fabric.
- Architectural details such as windows, window heads, tumbling-in and string course (interior not inspected but surviving plan form and features would add to significance).
- The way in which the building has changed over time and the evidence present to demonstrate this.
- The presence of the stone granary to the south of Garth House.
- The stone boundary wall to the frontage, which continues along the street, both to the south and north.

- The setting of Garth House with potentially associated farm buildings behind (further research would help clarify the historic relationship). However, harm has resulted from the recent development of Chapel Close / Rosewood Vale to its south and east and also the earlier infill dwelling of Garth Lodge to its north.
- It's contribution to the street scene and historic environment of the settlement.



Above: Photo 1 - Google Streetview Image dated March 2009 showing the now demolished Manor House.

The Site forms a backdrop to Garth House with the presence of the farmstead, which may be historically linked to the house, present behind. Where modern development adjacent to Garth House has harmed its setting, the presence of the farmstead maintains the agricultural character of the land. Also, the openness of the Site allows for distant, partial views of Garth House from Mill Lane (see View 2 below).



Above: View 2 – Looking north-west towards the site, over the adjoining field, from Mill Lane.



Above: View 3 of Garth House, looking south east along Garth Lane.



Above: View 4 - looking south along Chapel Street, towards Garth House, with the Site to the left where it adjoins the street.

As viewed within the settlement, the Site extends to Chapel Street at its northern end. Here, the road is currently enclosed by an historic stone wall with trees behind. The same wall type fronts Garth House itself. This frontage makes a positive contribution to both the character of the lane and also the setting of Garth House. It is noted that the trees have

grown significantly within the past 15 years (from reference to Google Streetview). The wall, with gap between for access, extends further north, forming the frontage to an historic, stone house.

Therefore, it is concluded that the Site makes a positive contribution to the setting and therefore significance of the Garth House.

In the overall hierarchy of significance value, Garth House can be attributed MEDIUM significance value.

2.1.2. Garth House - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate to major impact to setting, leading to moderate impact to significance. Potential to reduce level of impact using mitigation measures.

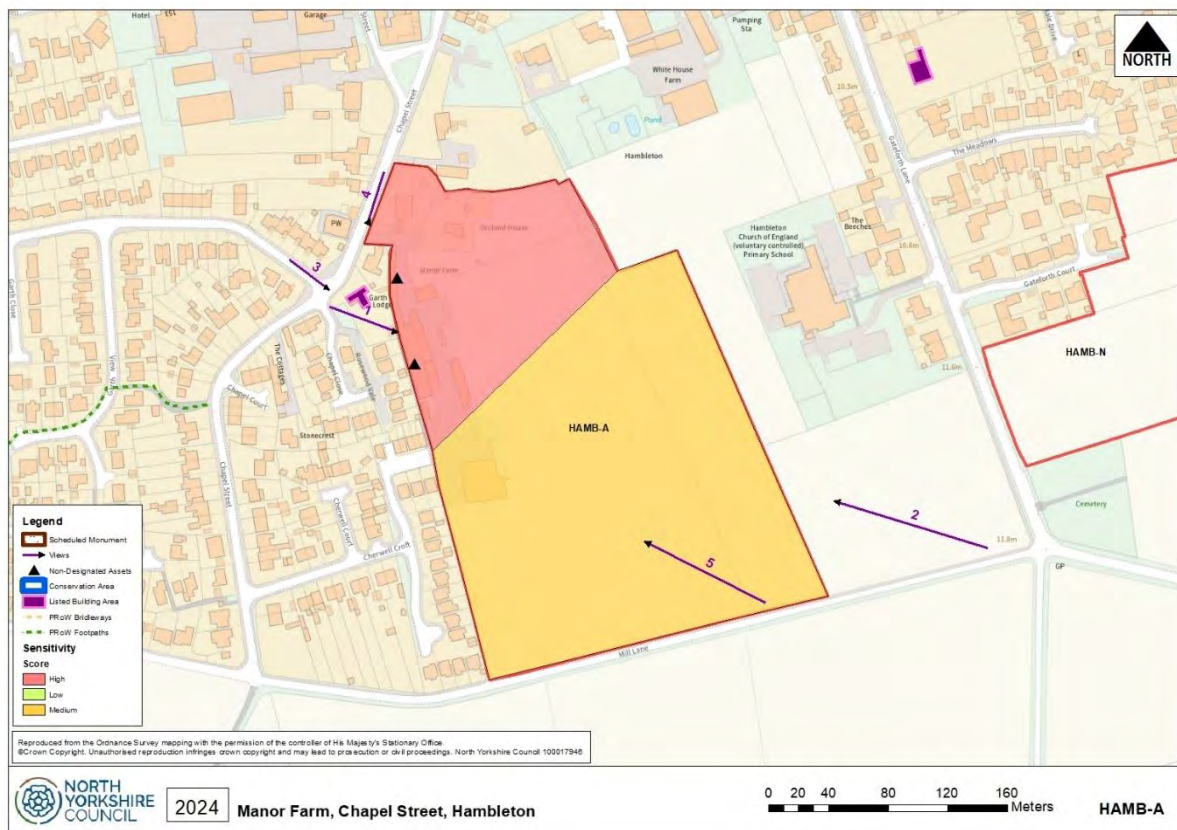
Reason for conclusions: If the part of the Site that adjoins Chapel Street is used as a point of access, the loss of a large section of the wall, loss of trees (subject to assessment of those that are most important) and introduction of a standard highways junction would have harmful impacts on the setting of Garth House and also on the character of the street generally.

The removal of the farm buildings within the Site will change the setting of Garth House, such that the agricultural character of the land would change. This will have harmful impacts due to the loss of the relationship with the adjoining farmstead (which may have an historic relationship with Garth House).

Provision of built form to standard housing densities would be particularly harmful in this location (the area of higher sensitivity as shown in the map analysis) and would exacerbate the harmful effect of surrounding Garth House by modern development.

The distant, partial views of Garth House from Mill Lane would likely be impacted such that it would not be visible.

The views and sensitivity of the site are identified within the Map Analysis, below.



Above: Map Analysis of HAMB-A

Recommended mitigation measures:

- Retention of the farm building and conversion to dwellings as part of the housing scheme and with appropriate spacing provided about them so they do not become entirely subsumed by the development.
- Avoidance of creation of point of access off Chapel Street to avoid the introduction of a standard highways junction, loss of stone boundary wall and trees. Here, a very low number of dwellings should be introduced to respect the spatial character of the street (or provide replacement of a single dwelling as was previously present).
- If the farm buildings are not retained, provision of open space to the east and south east of Garth House, or the provision of very low density development (with

dwellings of modest scale and locally distinctive design) in order to conserve as far as possible the existing setting in terms of spatial character.

- Generally, with regard to the character of the settlement, the provision of locally distinctive dwelling (in terms of scale, massing, design, materials, detailing etc) with particular regard to the south and east edges where they adjoin open countryside / agricultural land. Retention of hedgerows on the edge and within the Site.

3. Non-designated Heritage Assets

3.1. Farm Buildings to south of Garth House

3.2. Farm Buildings to south of Garth House - Identification of significance

The buildings have been mentioned above, with regards to Garth House and Manor House. Map 2 shows the presence of the buildings around the middle of the 19th century. The buildings have not been inspected but others' photos can be referred to, below. With reference to historic maps, it seems that an earlier range (present on the mid-19th century map) is present to the south, with a later, single storey range appearing to its north at some point before 1906. From the photos (2&3) below, the later range appears much altered but not all is visible and it has not been inspected.

The photos also suggest the buildings may be a poor state of repair. Nevertheless, as traditional, historic farm buildings they are likely classifiable as non-designated heritage assets. Their significance may derive from being examples of traditional farm buildings, the way in which they evidence past farming practices, the potential relationship to Garth House / Manor House (and the potential for further assessment to reveal more on the history of the site), the setting within an agricultural field and the way in which the buildings add to the richness of the historic environment of the settlement (evidencing the rural character of the now, much expanded, settlement).

The introduction of modern housing to the west of the farmstead has impacted harmfully on the setting of the farm buildings (see View 5 below).

Even so, the Site makes a positive contribution to the setting of the farm buildings as it provides the agricultural context which links to the essential function of the buildings.



Above: Photo 2 - Farm buildings (Garth Lodge behind), Source: Archaeology & Built Heritage Assessment by Pegasus Group, dated May 2017 in relation to planning application 2017/0526/OUTM. Range of buildings to left date from 1845-8 or earlier. Those directly behind Garth Lodge dating from between 1845-8 and 1906.



Above: Photo 3 - Farm buildings (Garth Lodge behind), Source: Archaeology & Built Heritage Assessment by Pegasus Group, dated May 2017 in relation to planning application 2017/0526/OUTM. Range of buildings to left date from 1845-8 or earlier.



Above: View 5 – Looking north-west towards Manor Farm and eastern edge of Cherwell Croft, from Mill Lane, over the Site.

In the overall hierarchy of significance value, the farm buildings can be attributed LESSER significance value.

3.3. Farm Buildings to south of Garth House - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for major impact to significance. Potential to reduce level of impact through retention of buildings / use of mitigation measures.

Reason for conclusions: The demolition of the farm buildings would result in the highest level of harm as they would be permanently lost.

If the buildings are to be retained then this would significantly reduce the level of harm; however, the encroachment of built form and loss of context with the field would still represent a high level of harm to setting and therefore significance.


Recommended mitigation measures:

- Retention of farm buildings and conversion to dwellings as part of the housing scheme.
- Provision of an appropriate amount of space about the building so that they do not become wholly subsumed into the development. Consideration of the scale, massing and design of surrounding built form.
- Maintenance of historic access routes to the farm buildings.

4. Summary of heritage impact

With regards to the impact on Garth House (grade II listed), harmful impacts to its setting would result from the development of the Site that involves the loss of the adjacent, traditional farm buildings and from the fundamental change of character of the Site from agricultural land. This includes potential harmful effects resulting from the change to the northern part of the Site where it fronts Chapel Street. Further investigation into the historic relationship of Garth House to the farmstead (and the former Manor House) would assist in better informing the significance of the Site.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

 Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

With regards to the non-designated heritage assets, complete loss of the farm buildings would result in the highest form of harm as they would be permanently lost. Retention of the buildings would help conserve significance but setting would still be harmed by the introduction of development on the Site.

Author: Emma Gibbens BSc MSc IHBC

Date of report: 10th February 2023

HENS-A, Weeland Road, Hensall

1. The site

Site name / location: HENS-A, Land North of Weeland Road, Hensall

Description of proposal: Residential development. Form/design unknown.

Description of context: HENS-A is located to the South of the Parish of Hensall and is situated directly upon the Weeland Road junction which intersects with Station Road headed North and Church Lane to the South. The Church of St. Paul's is located immediately south of the Site and includes a vicarage and school which were constructed at a similar time to the Church. Adjacent development includes modern terraced housing located on Station Road. On its northern edge, the Site is adjoined by an industrial engineering site and its scrubland which abuts the railway boundary to the North. On its southern edge, the site boundary consists of mature hedgerows and establishing dispersed trees. An access from Weeland Road runs to the industrial site at the rear and circumnavigates the western outer-edge of the Site. Beyond the western edge of the site is 20th century terraced housing, Britannia Terrace.



Above: Britannia Terrace visible in the foreground, located upon Weeland Road looking East with the proposed allocation in the background (left) (Google Earth)

2. Designated heritage assets

2.1. Church of St. Paul

2.1.1 Church of St. Paul - Identification of significance

The Church of St Paul is a Grade II* listed Church (List Entry Number: 1148401). The church was constructed in 1854 with a number of later alterations.

The significance of the Church derives from elements such as its association with architect William Butterfield, who designed a number of local buildings. The Church significance derives from a range of architectural interest. The construction consists of Pinkish-red brick in English bond with ashlar dressings and grey slate roof. The Church interior retains most original features but is of a relatively plain design. The Nave presents a pointed arcade on cylindrical piers with moulded capitals and bases. A double-chamfered pointed chancel with an arch on corbelled soffit moulding.

The aisles have a triple-stepped cusped lancet windows within ashlar surrounds. The South aisle has a stepped external chimney to third bay which has been lowered. The chancel: south side and north vestry have 2-light mullion casement windows. East end of vestry has 2-light Geometrical-type window. East window of 3 lights with Geometrical-type tracery to head within pointed ashlar surround. Some windows include stained glass.

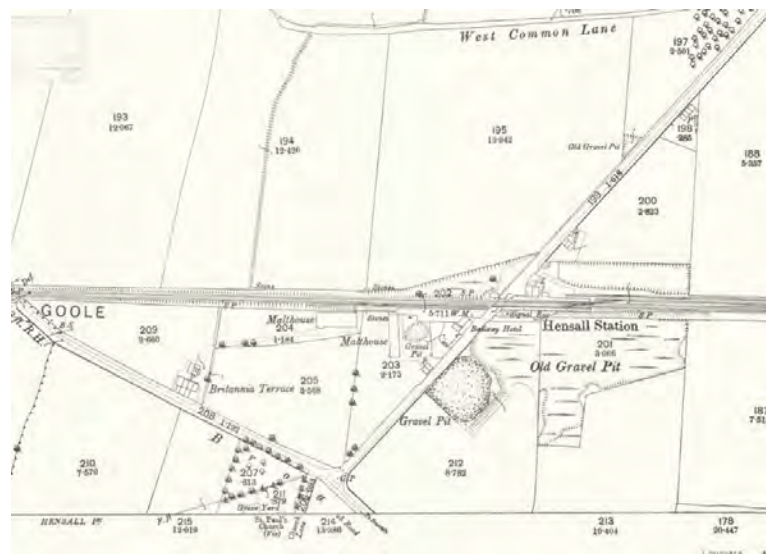
The significance of the Church lies in its communal, historic and aesthetic values and architectural interest. Its communal values are linked to its popularity as a venue for weddings, baptisms, regular services and its strong links to the local school. St Paul's also have an 'open' graveyard and is the only place of burial in the historic parish of Hensall cum Heck and High Eggborough. Aesthetically and due to its prominent location, the Church is a locally distinctive feature, contributing to the parish sense of place.



Above: Historic OS map of Hensall dated 1842-1952 and Site Allocation to the south
(Reproduced with the permission of the National Library of Scotland (NLS))

The setting of the Church is of importance to how the asset is experienced. The setting comprises of the surrounding green land – green, open agricultural land is largely present to the immediate East of Church street. To the east of Weeland Road, the setting comprises of mature trees, hedgerows and rich paddock grassland. The adjacent settings also facilitate significant contextual views of the asset from distance.

The setting does include the development site to the North, however the site is somewhat detached by the mature hedgerow boundary and dispersed semi-mature tree. Historically the land to the north has provided the location of a malthouse to the north, connected to the railway line. This land remains predominantly industrial, with scrubland and the development site to the south. Development of the site, will introduce new development within the immediate setting. As a Grade II* listed asset, the Church is considered of high significance. Due to the immediate adjacent location of the site, it is frontage which has the highest sensitivity. In its current form, the site allows for space around the listed building and reinforces the countryside aesthetic of Weeland Road. Therefore, the site positively contributes to its rural setting, and significance. The contribution of this site to the significance to the Church is positive due to the extended openness.



Above: 1888 Map from the NLS (Online) showing the long extant mature tree coverage and Malthouse to the North

2.1.2. Church of St Paul - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate impact to setting, leading to overall MODERATE scale of impact to significance.

Reason for conclusions: The Church is fundamentally a rural building, built away from the settlement core, the ability to experience the church in a rural context is important.

2.2 The Red House

2.2.1 The Red House - Identification of significance

The Red House is a Grade II* listed (List Entry Number: 1148401) former Vicarage, now house. The building dates to 1854 and was designed by architect William Butterfield. The house has undergone a number of later alterations.

The Red House fabric consists of Pinkish-red brick in English bond with grey tile roof and consists of 2 storeys, 3 first-floor windows with single-storey range to the rear. The property retains many internal features. All ground-floor openings present below header arches and pointed relieving arches. To left of the first floor is a pointed tripartite window, the centre a 6-pane sash, under pointed arch set in high gable. Ridge, rear and side stacks have cogged bands. Interior retains several original features.

The dining room includes an oak fireplace, roll-moulded beams and panelled walls. A dogleg staircase includes chamfered plank balusters and shutters are fitted to some windows. The

house is considered an early example of a conscious Victorian return to an honest, unpretentious style of house building which is not stylistic and is devoid of imitative flavour.

The house is set within a largely rural and countryside character. The Church of St Pauls is to the immediate north of the asset and agricultural land is to the West and South. The Hensall school is to the East and school grounds extend to the south. The Red House is conceived of as a group with St Paul's Church and Hensall Primary School. As such, the rural context is provided by the surrounding agricultural land, mature hedgerows and trees.

In considering the setting, the site provides a contribution to the rural and open character in which the Red House (along with the school and church) is experienced. Located to the North, the site is somewhat detached by the Church and the mature hedgerows and trees of the development site. Development of the site, will introduce new development within the setting. Due to the sensitivity, the site has a higher sensitivity upon the road frontage of the site. In its current form, the site provides reinforces the countryside aesthetic of Weeland Road. Therefore, the site positively contributes to the Red House rural setting, and its significance due to the extended openness the site provides to the North.

2.2.2. The Red House - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate impact to setting, leading to overall MODERATE scale of impact to significance.

Reason for conclusions: The Grade II* Red House has a rural setting and development within the setting would alter this characteristic.

2.3. Hensall Primary School Schoolmasters House

2.3.1. Hensall Primary School Schoolmasters House – Identification of significance

The Hensall Primary Schoolmasters house is a Grade II listed building (List Entry Number: 1148400). The school masters house is a mid-19th century dwelling with subsequent alterations. The building consists of Pinkish-red brick, partly rendered with a grey slate roof. It is a 2-storey range with 2 first floor windows and a single tall storey with a 2-bay schoolroom adjoining.

The Schoolroom has three 6-pane casement windows with 2 roof dormers and presents three 6-pane casement windows with 2 roof dormers. The interior retains many original features including fireplaces, cupboards with hinges, dado rails, 6 and 8 panel doors and dog-leg staircase to the masters house with plain balusters.

The building has a strong community value, due to its function as a Primary school and further sports and educational clubs. The asset is conceived as a group with the immediately adjacent St Paul's Church and The Red House. Similar groups exist at Cowick and Pollington. The rural setting is an important part of how the group of assets is experienced. The Schoolhouse is, like its neighbouring assets, set within the largely rural and countryside location. This rural context is also reinforced by the surrounding agricultural land, mature hedgerows and trees and the views enable people to experience this character of the asset.

In considering the setting, the proposed site does offer some contribution to the rural and open character in which the Schoolhouse is experienced. Located to the North, the site is, however, somewhat detached from the development site, by the Church and the church grounds which include mature hedgerows and trees of the development site. Views to the north, from the Schoolhouse upon Church Lane, are not overtly prominent, and the rural character is reinforced by agricultural land to the East and mature trees.



Above: Image showing the Schoolmasters house and St Pauls Church, looking North West from Church Lane.

Development of the site, will introduce new development within the setting. In considering the Schoolhouse and its setting, the site has a higher sensitivity upon the road frontage of the site. In its current form, the site reinforces the countryside aesthetic of Weeland Road. Therefore, the site positively contributes to the Schoolhouse rural setting, and its significance due to the openness the site provides to the North and the mature hedgerows and mature / semi-mature trees it presents.

2.3.2. Hensall Primary School Schoolmasters House – Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

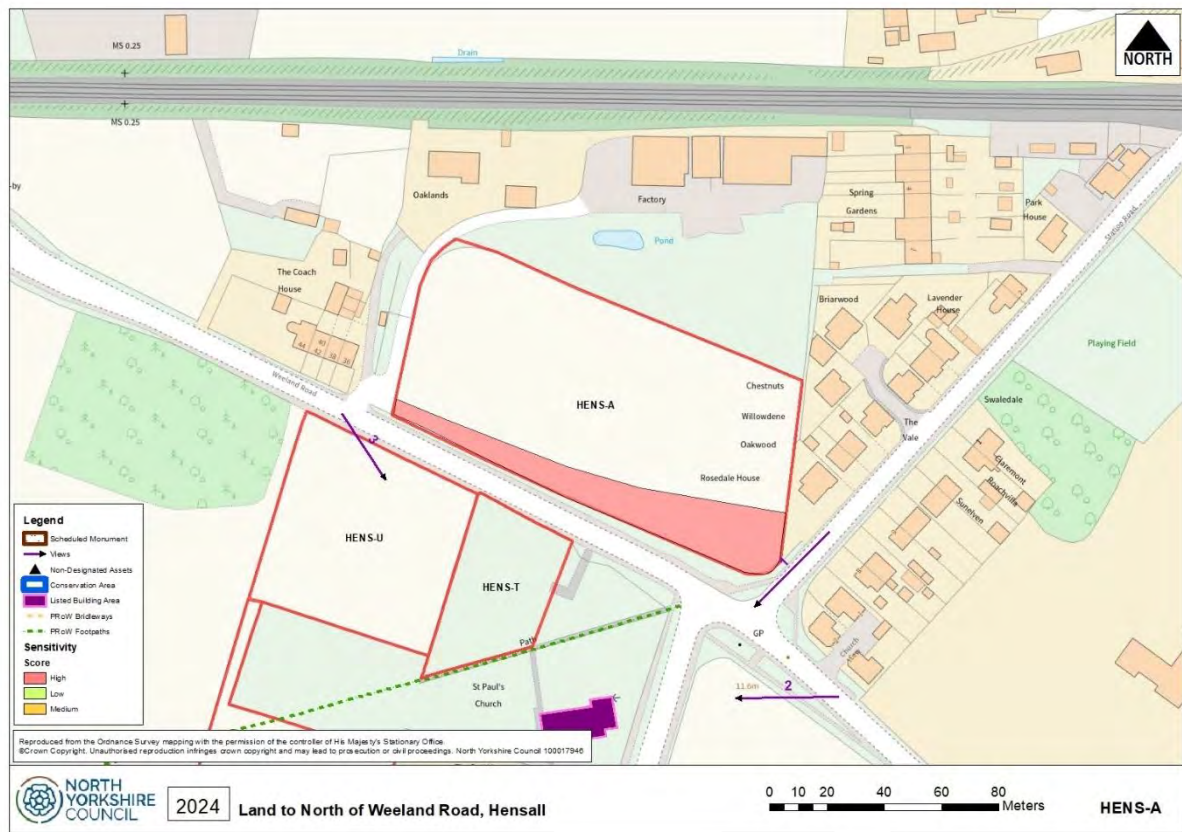
Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for low impact to setting, leading to overall moderate impact to significance.



Above: Map analysis of HENS-A

Recommended mitigation measures:

The following mitigation measures are recommended but it should be noted that mitigation:

- Avoidance of development on the highest area of sensitivity. Should any development on the highest area of sensitivity be forthcoming then development should be lower density so that the rural character is retained as far as is possible (e.g. retention of some agricultural land, avoiding loss of hedgerows and trees; providing sufficient space to them, avoidance of suburban forms of development).
- Site edges should be ‘soft’ (avoidance of hard / uniform building line and appropriate landscaping etc.) to ensure integration of the settlement edges with the surrounding countryside.
- Avoidance of standard, suburban forms of development (standard housing types, densely packed dwellings etc.). Building design should be locally distinctive and scale and massing be appropriate to context.

Opportunities to enhance significance:

- Restoration of hedgerow field boundaries within the Site.


- Include road fronting tree coverage within the design to both conserve and enhance the rural character on Weeland Road.

3. Summary of heritage impact

Development of the Site will have a moderate impact on the character of the land, from rural/agricultural field to housing.

A reduction in density and avoidance of sensitive areas of development, as set out above, would assist in reducing harm.

With regards to the impact on the designated heritage assets, the following score is attributed to the proposed development:

 Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: A Sims

Date of report: 30th November 2023

HILL-A, Land West of Main Street, Hillam

1. The site

Site name / location: HILL-A, Land West of Main Street, Hillam

Description of proposal: Residential development. Form/design unknown.

Description of context: The Site is located to the west of Hillam, behind the frontage building to Main Street / Lumby Hill. Hillam Conservation Area is to the immediate south of the Site and a small part of the conservation area is located within the site. The Site consist of two residential properties (facing Main Street) and agricultural fields. Both dwellings post-date 1950. On its northern edge, the Site is adjoined by the 20th century housing of Mill Close. On its southern edge, it is adjoined by a narrow field with 20th century properties beyond that (which face onto Betteras Hill Road). A footpath, accessed from Betteras Hill Road, runs north-south along the western edge of the Site (and when not restricted in access as at the time of survey, gives access through the site to Main Street/Lumby Hill). Beyond the western edge of the site is located a pond and woodland, on the site of a former brick/plaster works.

2. Designated heritage assets

2.1. Hillam Conservation Area - Identification of significance

It is the elements of special interest that form the significance of a conservation area. The special interest consists of both architectural and historic interest and is often expressed as its character and appearance. In this case, there is no conservation area appraisal but the character and appearance can be described as:

- The way in which the settlement has developed over time.
- Historic grain (linear) of the settlement (which historically had associated croft fields behind frontage buildings – possible tofts). Many of the fields are represented as orchards on mid-19th century OS maps.
- Last remaining evidence of fields present to the west of the conservation area.
- The position of historic buildings (such as those that are positioned directly facing the road, either gable or front elevation) and those set behind (converted farm and outbuildings).
- The presence of many historic buildings (typically in limestone), both domestic and converted farm/out buildings, both designated and non-designated.
- Presence of agricultural / former agricultural buildings reflecting the farming history of the settlement.

- The locally distinctive character of buildings (materials, detailing, scale, massing, form).
- Landscape features such as the small green (at the junction between Main Street, Hillam Lane and Chapel Street) and trees.
- The way in which elements of the conservation area are experienced, including views available within and to/from outside (though the latter is relatively restricted by modern housing).
- Uniformity of stone boundary walls.
- Landmark buildings such as Hillam Hall.



Above: Photo 1 – Typical view of Main Street, Hillam.

The conservation area comprises the historic core of the settlement, where for the most part this has been encroached upon by later 20th century housing in the form of cul de sacs off the main street. This has eroded the sense of the linear grain and the experience of the relationship with the surrounding fields.

In the overall hierarchy of significance value, the asset type or name can be attributed MEDIUM significance value.

The Site forms part of the last remaining undeveloped agricultural land of the settlement that has not seen development to the rear of the frontage buildings. The part that is within the conservation area is part of a narrow field located behind the frontage buildings with the remainder (outside of, but adjoining the conservation area) being additional fields. The Site contributes positively to both the character and appearance of the conservation area and its setting, therefore forming part of the significance of the conservation area.

2.1.2. Hillam Conservation Area - Identification of impact on significance

Summary of scale of impact: Potential for moderate-high impact to setting, leading to overall MODERATE impact to significance.

Reason for conclusions: The Site is not visible from the north edge of the conservation off Main Street (see view 1, below) but to the north of the boundary the gaps between buildings fronting the street give a sense of a lack of development, for example views 2 and 3, below (unlike other areas where later 20th century development is highly apparent). This helps give a sense of the historic linear form of the settlement.



Above: Photo 2 – View 1 from north edge of conservation area on Main Street, looking north- west across the front of the Site.



Above: Photo 3 – View 2 from Lumby Hill, looking west - woodland to west edge of Site visible between frontage buildings.

The experience of the site is very different from its western side, where the site can be partially seen through trees lining Betteras Hill Road (see view 3, below) but with the presence of the historic footpath allowing for full sight of the Site in the context of the edge of the conservation area (see view 4, below).



Above: Photo 4 – View 3 from Betteras Hill Road looking into the site towards the rear of Main Street and edge of conservation area.



Above: Photo 5 - View 4 from footpath looking west towards edge of conservation area.

These views reveal the historic, agricultural/rural surroundings of the settlement and conservation area and remains as the last area surrounding the conservation area where this can be experienced. The presence of remnants of hedgerow and also trees adds to the character of the land. For relevant views, there will be more visibility across and into the site in those months when trees are not in leaf.

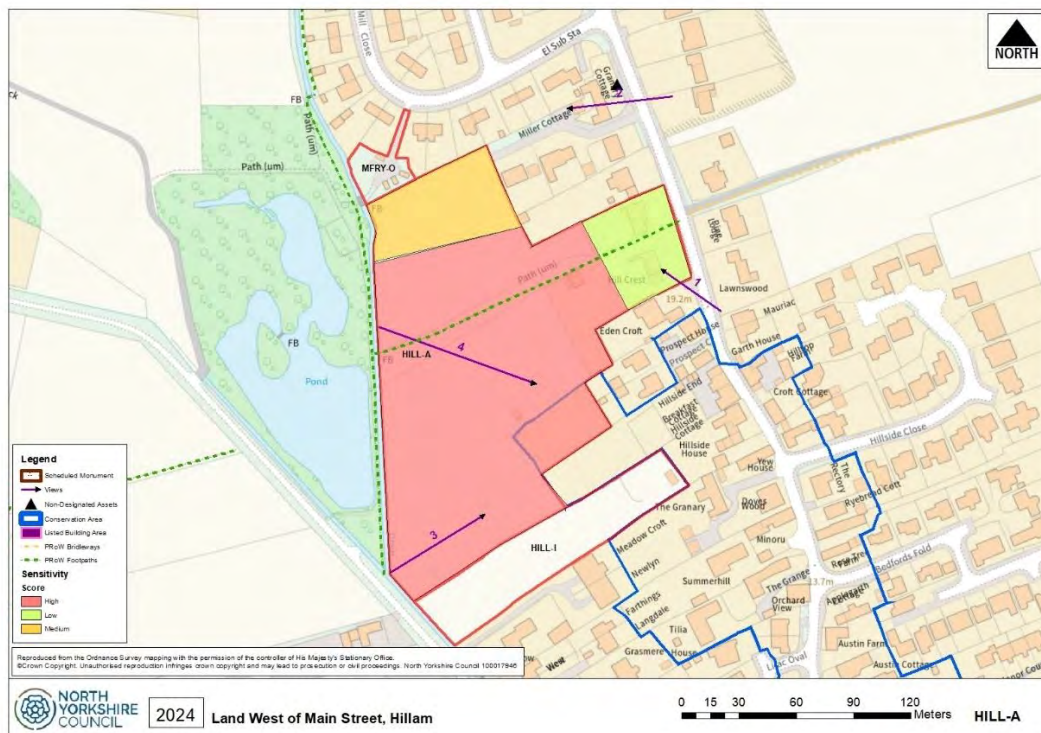
Development of the site in a manner that removes the ability to appreciate the setting of the conservation area, the rural character of the land, evidence of the field boundaries and

well treed form will result direct in harm to a small part of the conservation area and otherwise be harmful to the setting of the conservation area. Development that is of suburban form will be particularly harmful.

Replacement of the two frontage buildings would not impact on the setting of the conservation area or character of the settlement generally as long as development is locally distinctive (in terms of aspects such as building position, density, boundary treatments, scale, massing and materials). This area is considered to be of lesser sensitivity, as shown on the map analysis, below.

However, if the proposal relates to full development of the site and it would require a standard highways engineered new road access from Lumby Hill (through the area of the two existing dwellings), this would be harmful as it would add another break in the frontage buildings that play a part in the linear character of the settlement.

There may be some capacity for a small amount of development to the south of Mill Close (but this may result in an impact to the setting of Mill House, see section 4.1). This area is defined by a hedgerow and is identified as the area of medium sensitivity on the map analysis, below.



Above: Map analysis of HILL-A (blue dotted line shows the public footpath)

Recommended mitigation measures:

The following mitigation measures are recommended but it should be noted that mitigation involves a significant reduction in the scale of the Site area:

- Avoidance of development on the highest areas of sensitivity. Should development in any case be forthcoming for the highest areas of sensitivity then development should be low density so that the rural character of the fields is retained as far as is possible (e.g. retention of some agricultural land, avoiding loss of hedgerows and trees; providing sufficient space to them, avoidance of suburban forms of development).
- Consideration of a small development on only the medium area of sensitivity, if it is possible to do so without causing harm to the setting of Mill House or causing harm to the experience of using the public footpath.
- Avoidance of providing new standard highways engineered new road accesses from either Lumby Hill through the lesser area of sensitivity or from Betteras Hill Road (tree removal may be harmful to the character of the lane).

Opportunities to enhance significance:

- Restoration of hedgerow field boundaries within the Site.
- Continued use of footpath through site up to Lumby Hill (restricted access at time of site visit due to broken footbridge over waterway).

3. Non-designated heritage assets

3.1. Granary Cottage and Miller Cottage

3.1.1. Granary Cottage and Miller Cottage - Identification of significance

This is a two storey, limestone building comprising two dwellings, front elevation (with sash windows and two doorways) facing the road. Set lower than the roadway, there is a low boundary wall to the front. The historic building of locally distinctive form contributes positively to the streetscene. See photo 3, above.

Original purpose of building unknown but OS maps indicate a use related to the mill site. Historic OS maps from the mid-19th century mark the site as 'Hillam Mill (Corn).' A second building, located to its south has since been lost – information from the Hillam Historians (available online) indicates that this second building was the windmill itself, removed in 1953.

In the overall hierarchy of significance value, the enter asset type or name can be attributed LESSER significance value.

The Site is located to the west of the building with two dwellings located between the two. As seen in photo 3 (view 2), the lack of built form and visibility of the woodland beyond adds to the sense of the historic linear grain in which the building originally was located and generally provides an attractive setting. The Site therefore contributes positively its setting and therefore significance.

3.1.2. Mill House - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate impact to setting, leading to overall MINOR impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development in the area of medium sensitivity (identified on the map analysis above) would assist in avoiding built form elsewhere on the site (in relation to the impact on the conservation area); however the presence of built form of standard suburban form has the potential to affect the setting of the heritage asset, particularly if dwellings are of a large scale/height (particularly where the building itself is set relatively low in the streetscene). The sloping land may give some relief if building heights can be nestled into the land but the loss of views of the woodland behind would be harmful to setting.

Recommended mitigation measures:


Provision of development in the area of medium sensitivity to a form that allows the sense of linear grain to remain and otherwise allows visibility through to the woodland beyond. Consideration therefore particularly required of scale, massing and topography. Otherwise, general consideration of mitigation measures recommended for the conservation area is required.

3. Summary of heritage impact

Development of the Site will have a fundamental impact on the character of the land, from rural/agricultural fields to housing. As the last remaining area of rural land which demonstrates the historic, linear grain of the settlement/conservation area and its former relationship with the surrounding countryside, its loss to housing would result in harmful impacts to the historic environment.

A reduction to smaller areas of development / re-development, as set out above, would assist in significantly reducing harm but development of the whole site is not recommended.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

 Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: Emma Gibbens BSc MSc IHBC

Date of report: 25th May 2022

KELL-B Land south of Lunn Lane, Kellington

1. The site

Site name / location: KELL-B Land south of Lunn Lane, Kellington. Located to the west of the settlement.

Description of proposal: Residential development. Up to 72 dwellings.

Description of context: The Site is part of a larger field, adjoining Kellington on its western edge. Lunn Lane forms its northern edge and the dwellings of The Plough Garth forms its eastern edge. Other edges have no boundary (no field hedgerows present). A public footpath runs south west through the site, from Lunn Lane at the edge of the settlement, to Church Lane.

2. Designated heritage assets

2.1. Church of Saint Edmund - Identification of significance

The church is a grade I listed building. It has Norman origins, with a mid-12th century reconstruction and further 14th and 15th century alterations and a 19th century chapel. It is built of Magnesian limestone ashlar with tower.

The church's significance derives from aspects such as:

- Being an example of an early church, dating back to Norman times.
- Its architectural form, design and detailing and the way in which it has been altered over time.
- Its function as a religious building.
- Its communal value as a public / religious building.
- Its location away from the settlement which will relate to land ownership at the time it was built / potential changes over time relating to the location of the settlement.
- Its rural setting and the extent of separation maintained between it and Kellington.
- The way in which it forms a landmark in the landscape.

The 'Gate Piers to St Edmund's Churchyard' are subject to a separate grade II listing, as is the 'Churchyard Cross, St Edmund's Churchyard approximately 5 metres to South of Porch.'



Above: Church of St Edmund, view from Church Lane.

In the overall hierarchy of significance value, the listed building can be attributed HIGH significance value.

The Site is located in the setting of the church and forms part of the land that provides separation between it and the settlement. As part of its rural setting, the Site, being part of an agricultural field, contributes positively by playing a part in the overall rural context that forms this setting. Views of the church are available on exiting Kellington, looking across the Site and the ability to walk a public footpath through the Site adds to the ability to experience the church in this location.

2.2. Church of Saint Edmund - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

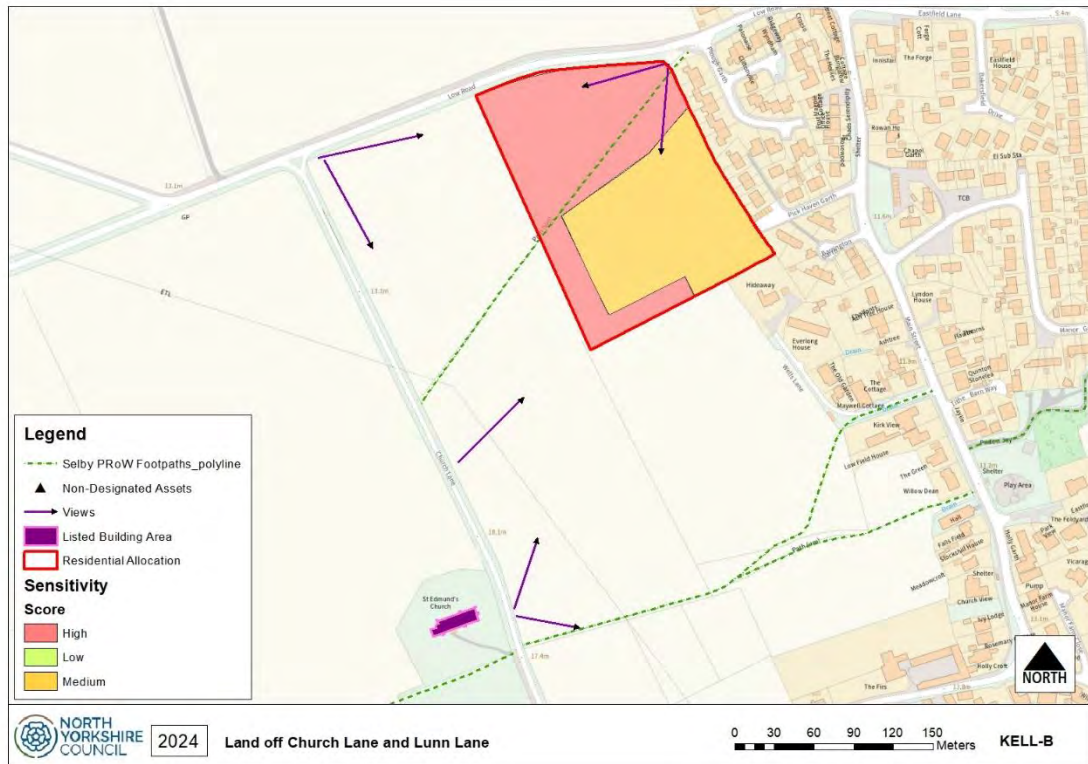
Summary of scale of impact: Potential for low-moderate impact to setting, leading to overall MINOR scale of impact to significance.

Reason for conclusions: Being fundamentally a rural building, built away from the settlement (or having become separate, depending on the changes that have occurred over time), the ability to experience the church in a rural context is important.

Upon exiting Kellington on Lunn Lane, the church can be experienced in views looking over the Site. In addition, a public footpath that runs across the Site, to the church, provides an additional means of experiencing the church. The provision of built form will block these views, delay the point at which the church can be seen and from the footpath will fundamentally change the experience of walking it. In views from the church towards the Site, the encroachment of the settlement edge would be apparent.



Above: View 1 looking south west from the west edge of Kellington (Lunn Lane) towards the Church St. Edmund.



Above: Map analysis of KELL-B

Generally, the encroachment of the settlement edge and change of character of the land from agricultural to residential/developed will erode the rural setting; development that is overly suburban in form will further compound this effect. However, the Site only forms a small part of the rural setting, with a large extent of agricultural land unaffected by the proposal - there are various other points on the surrounding roads/lanes/footpaths that the building can be experienced.

Recommended mitigation measures / opportunities to enhance significance (for both):


Should development be forthcoming on the site, the following mitigation measures are recommended:

- Setting back development from the north-west corner of the site to conserve as far as possible the views of the church upon exiting the settlement on Lunn Lane.
- Preservation of the public footpath in a manner that creates a meaningful route through the Site (or by alteration of the Site boundary so that the footpath forms the edge to the Site / or at least, the extent of built form), with views towards the church maintained.

- Providing hedgerows to all site boundaries and not standard fencing (so that the Site edges integrate well with the rural context).
- Avoidance of standard, suburban forms of development (standard housing types, densely packed dwellings etc.). Building design should be locally distinctive and scale and massing be appropriate to context. Site edges (apart from the eastern) should be 'soft' (avoidance of hard / uniform building line, appropriate landscaping etc.) in order to integrate the settlement edge with the surrounding countryside.

3. Summary of heritage impact

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

 Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: Emma Gibbens BSc MSc IHBC

Date of report: 19th August 2022

SELB-AG Ousegate, Selby

1. The Site

Site name / location: SELB-AG Ousegate, Selby

Description of proposal: Unknown

Description of context: The site is within Selby and the entrance to the site is from Denison Road. The town centre located to the west of the site.

The site is adjacent to the Selby Lock, the Lock House and Bridge House, all of which are on the Aire and Calder Navigation (canalised section of the rivers) and are grade II listed buildings. Selby Town Conservation Area is 180 metres to the west of the site.

There is an existing brick boundary wall and the site is currently cleared containing no structures. To the north of the site is the river, directly to the west is the canal, to the northeast is an industrial site and to the south and east is modern housing.

Historic maps from the late 19th century show the site formally containing a mill and mill house at the northern end (Braid Mill and Mill House), a coal wharf to the western corner of the site, properties named Rush Cottage and Abbey View on the southern side of the site. By the early 20th century the mill (known as Ten Acre Mills) has expanded across the site. The site is now cleared and contains no buildings.



Above: Photograph of Site looking north (site located beyond the metal fencing)

2. Designated heritage assets

2.1 Aire and Calder Navigation, Selby Canal, Selby Lock.

2.1.1 Aire and Calder Navigation, Selby Canal, Selby Lock - Identification of significance

The canal lock is a grade II listed building (list entry: 1132586). The structure was constructed between 1775-1778 and has massive ashlar kerbstones and retaining walls which are splayed at either end. There are iron bollards and mooring irons, two wooden lock gates and a paddle mechanism embossed “John Sturge and Co. Bowling Iron Works, Aire and Calder Navigation 1828.”

The Selby Canal was cut in 1775 and was opened in 1778, it was engineered by William Jessop and John Gott and was constructed by John and James Pinkerton.

The significance of the lock lies in its historic and architectural significance as an historic engineering structure. The canal and lock was intrinsic to the industrialisation of Selby as it was used to transport goods to and from the town. It is now important as a leisure use bringing canal users to the area. Historically its setting was open river to the north and industry and mills to the east and south with jetties along the river banks. Its setting now is modern housing to the south and industry to the east, its river setting to the north and canal setting to the south is still retained.



Above: View of the lock and lock gates from the south

The application site sits alongside the canal lock and forms part of its setting. The site is cleared and contains no buildings. Historically there have been large industrial mill buildings on this site, therefore the contribution of this site to the significance of the canal lock is neutral.

In the overall hierarchy of significance value, the lock can be attributed MEDIUM significance value.

2.1.2 Aire and Calder Navigation, Selby Canal, Selby Lock - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset, Selby Lock. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Full development of the site with small scale developments and domestic elements (such as fences, gardens and domestic paraphernalia would see a change to the setting of the Selby Lock. Small scale domestic development has the potential to compromise the significance of the nearby listed building (and the canal) through inappropriate development within its setting.

Recommended mitigation measures / opportunities to enhance significance: In order to minimise the harm to the significance of the listed building, it will be important that the eastern bank of the canal remains in character an industrial one and is not domesticized by development. The form of any boundary treatments adjacent to the canal will be critical. Particular care must be paid to the area that is immediately east of the listed building.

Extra attention should also be given to the treatment of the area adjacent to the river, to ensure delivery of an appropriate riverside character.

Traditional treatment of the boundary is required.

2.2 Aire and Calder Navigation, Selby Canal, Lock House and Bridge House at Selby Lock

2.2.1 Aire and Calder Navigation, Selby Canal, Lock House and Bridge House at Selby Lock - Identification of significance

The Selby Canal Lock House and Bridge House is a grade II listed building (list entry no. 1132587). It is a two storey brick detached structure with a hipped roof and two brick chimneys, to the side is a single storey lean-to. The interior of the building has not been inspected, however the list entry describes the building as dating from the early 19th century, being constructed of brown bricks and a clay pantile roof which is hipped formation. There is a brick oversailing course at eaves level. There are six bays which have timber sliding sash windows and two blocked openings at first floor. There are two timber board and batten porches with diagonal planking to the front elevation which were constructed in the late 19th century.



Above: Photo showing Lock House and Bridge House facing towards the canal. The Site is located to the rear.

Historic maps show industrial buildings being located to the rear (east) of the houses. These industrial buildings have since been demolished.

The significance of this listed building lies in its historic significance with a strong connection to the canal and lock to the west. The building materials, positioning and relationship to its surroundings contribute to the significance and aid the understanding of the historic development of this area.

The setting of the listed building includes the canal, river and surrounding land. The Site is located in close proximity to the listed building and there is intervisibility between the two sites. The Site therefore forms part of the setting of this listed building which contributes to the significance of the designated heritage asset.

In the overall hierarchy of significance value, the Lock House and Bridge House can be attributed MEDIUM significance value.

2.2.2 Aire And Calder Navigation, Selby Canal, Lock House and Bridge House at Selby Lock - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

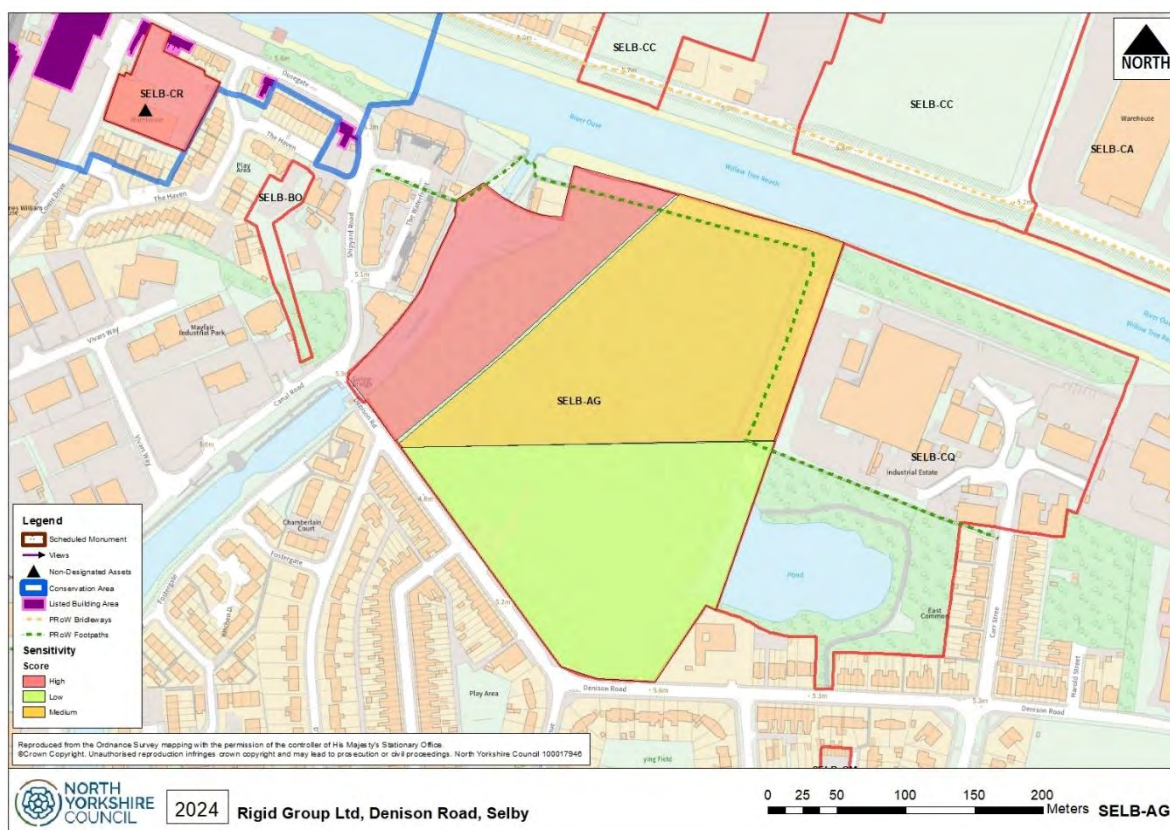
Summary of scale of impact: Potential for moderate impact to setting, leading to overall MODERATE impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions – Full development of the site with small scale developments and domestic elements (such as fences, gardens and domestic paraphernalia would see a change to the setting of Lock House and Bridge House. Small scale domestic development has the potential to compromise the significance of the nearby listed building (and the canal) through inappropriate development within its setting.

Recommended mitigation measures / opportunities to enhance significance: In order to minimise the harm to the significance of the listed building, it will be important that the eastern bank of the canal remains in character an industrial one and is not domesticized by development. The form of any boundary treatments adjacent to the canal will be critical. Particular care must be paid to the area that is immediately east of the listed building.

Extra attention should also be given to the treatment of the area adjacent to the river, to ensure delivery of an appropriate riverside character.

Traditional treatment of the boundary is required.



Above: Map showing areas of sensitivity of SELBY-AG in relation to the setting of Selby Lock and Lock and Bridge Houses.

3 Summary of heritage impact

The development of the entire site for domestic scaled housing would result in a fundamental change of character of the land that forms part of the setting of the listed buildings (Lock House, Bridge House and Selby Lock) which has the potential to cause harm to their significance through inappropriate development within their setting.

Locating domestic scaled housing to the southern and eastern boundaries would ensure that the scale reflects the surrounding development. Locating taller buildings to the northern end of the site would reflect the historic industrial scale of development. Mitigation, including a reduction of the extent of development, would help to reduce the level of harmful impacts.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: Anne Sims BSc, MA, MRTPI

Date of report: 23/05/2022

SELB-BZ Land at Crosshills Lane, Selby

1. The Site

Site name / location: SELB-BZ

Description of proposal: Unknown

Description of context: The site is located on the western side of Selby and comprises of agricultural fields. To the southern boundary is Selby Dam which runs the entire southern extent of the boundary. To the east and south of the site there are areas of residential development found on Leeds Road to the south and housing developments around Flaxley Road to the east. To the northern boundary is Flaxley Road. The land to the north and west of the site is agricultural land.

There are existing buildings within the site, mainly Crosshills Farm, Cross Hills Lane. The farmhouse within the farm has some historic and architectural interest.

Leeds Road Conservation Area adjoins the eastern-most part of the site. There are three Grade II listed buildings on the northern side of Leeds Road which are located close to the southern boundary of the site. On the northern side of Flaxley Road, the grade II listed building, Hempbridge Farmhouse and farm buildings are located close to the north-eastern boundary of the site.



Above: Photograph of Site looking towards the former railway track which runs across the site

2. Designated heritage assets

2.1 Leeds Road Conservation Area

2.1.1 Leeds Road Conservation Area - Identification of significance

The Leeds Road Conservation Area is located to the immediate south of the site's most eastern part. The developed part of the conservation area sits at a higher level than the site, and the suburban properties on the northern side of Leeds Road address and relate to the road.

The conservation area boundary is drawn to include the area of lower land located to the rear (north) of these properties. It is important to note that the draft Selby Conservation Area Appraisal (which includes the Leeds Road Conservation Area), identifies the land to the rear of the properties (which forms part of Selby Dam) as making a strong contribution to the character and appearance of the conservation area. It also states that the land to the north (Selby Dam, Flaxby Road Allotments and the adjacent fields) also provides some contribution to the character and appearance of the conservation area. The majority of the development site is identified in the draft Selby Conservation Area Appraisal as making strong or some contribution to the significance of the conservation area.

The significance of the conservation area derives from the type, style and arrangement of properties facing onto Leeds Road in Selby. The properties are located on the edge of the town, are more generously spaces and larger in scale than those found in the town centre. The agricultural land to the north and west contribute positively to the setting of the Leeds Road Conservation Area and allow for the conservation area to maintain its edge of town character. The development site forms part of the setting of the Leeds Road Conservation Area.

In the overall hierarchy of significance value, the enter asset type or name can be attributed MEDIUM significance value.

2.1.2 Leeds Road Conservation Area - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset, Leeds Road Conservation Area. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions – Development of agricultural land on the edge of a settlement will alter the intrinsic character of the settlement with the extent of built form expanding into the countryside and a reduced amount of open space.

Recommended mitigation measures / opportunities to enhance significance: In order to minimise the harm to the significance of the conservation area, the southern end of the development site should be kept clear from new development so that the openness and edge of settlement is retained.

2.2 Hempbridge Farmhouse and barns, Flaxley Road

2.2.1 Hempbridge Farmhouse and barns, Flaxley Road - Identification of significance

Hempbridge Farmhouse is a grade II listed building (list entry number: 1167159). The barn to the north of the farmhouse is listed separately (list entry number: 1132568) at grade II, as well as the stable and open cartshed range (list entry number: 1316639). All three listed buildings are viewed as a group and are assessed within this section.

Hempbridge Farmhouse is an early 19th century, two storey, detached property which is constructed of brown brick and has a pitched pantile roof. In terms of detailing it has brick modillioned eaves cornice and flush framed timber sliding sashes with glazing bars.

The barn to the north of Hempbridge Farmhouse also dates to the early 19th century and is constructed of brown brick with a pitched pantile roof. It has coped gables and ventilation holes.

The significance of these listed building lies in their historic and architectural interest. They are constructed of traditional materials and retain historic fabric. The site comprises of a typical style of farmhouse which are found throughout the Selby district, positioned closely to an ancillary barn and coach house. The relationship between the house and the ancillary agricultural buildings (and how they are viewed and experienced as a farmstead) contributes greatly to the significance of the assets.

The setting of the listed buildings is the farmstead, the nearby farm buildings and surrounding agricultural land. The site is located in close proximity to the listed building, on the southern side of Flaxley Road, and there is intervisibility between the two sites. The site therefore forms part of the wider setting of this listed building which contributes to the significance of the designated heritage asset.

In the overall hierarchy of significance value, Hempbridge Farmhouse, barn and coach house can be attributed MEDIUM significance value.

2.2.2 Hempbridge Farm, Flaxley Road - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate impact to setting, leading to overall MODERATE impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development of the entire site will impact upon the openness of the site which forms part of the setting of these listed buildings. Altering the setting of the listed buildings has the potential to cause harm to their significance.

Recommended mitigation measures / opportunities to enhance significance: In order to minimise the harm to the significance of the listed building, it will be important that the northern part of the site remains open to preserve the setting of the listed buildings.

2.3 Selby College Of Further Education (Brooklands) And Three Rivers Area Youth Office (To be referred as Brooklands within document)

2.3.1 Brooklands, Leeds Road - Identification of significance

Brooklands is a grade II listed building (list entry no. 1365812). It is a two storey (plus attic) red brick detached structure which dates to the mid 19th century. It has a pitched slate roof with shaped gables with finials, round arched timber sliding sash windows which have hood moulds and keystones. There is a three storey tower above entrance with a balustrade parapet and canted bays to ground floor.

The significance of this listed building lies in its historic and architectural interest as a good example of a detached villa within Selby. The mixture of building materials and architectural detailing contributes positively to the significance of the asset.

The setting of the listed building is its curtilage and garden area as well as Leeds Road and how it is viewed on the streetscene. The site is located to the rear of the listed building and there is some intervisibility between the two sites. The site therefore forms part of the wider setting of this listed building and contributes to the significance of the designated heritage asset.

In the overall hierarchy of significance value, Brooklands can be attributed MEDIUM significance value.

2.3.2 Brooklands, Leeds Road - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate impact to setting, leading to overall MINOR impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions – Development of the entire site will impact upon the setting of the listed building which may cause harm to their significance.

Recommended mitigation measures / opportunities to enhance significance: Develop close to existing residential development for an organic extension to Selby.

2.4 Church of St. Mary, Leeds Road

2.4.1 Church of St. Mary, Leeds Road - Identification of significance

The Church of St. Mary is a grade II listed building (list entry no. 1132542). Dating from 1854, this stone built church was built for the expanding Selby.

The significance of this listed building lies in its historic significance and strong connection to the local community. The building materials, positioning within the suburbs of Selby and relationship to its surroundings contribute to the significance and aid the understanding of the historic development of this area.

The setting of the listed building includes the neighbouring properties and its context on Leeds Road. The Site forms part of the setting of this listed building which contributes to the significance of the designated heritage asset.

In the overall hierarchy of significance value, the Church of St. Mary can be attributed MEDIUM significance value.

2.4.2 Church of St. Mary, Leeds Road - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: NO CHANGE to significance.

Reason for conclusions – Limited views of site.

Recommended mitigation measures / opportunities to enhance significance: Buildings should reflect the local distinctiveness of the historic buildings of Selby.

2.5 136 Leeds Road (and barn to rear)

2.5.1 136 Leeds Road (and barn to rear) - Identification of significance

136 Leeds Road is a grade II listed building (list entry no. 1132539). It is a two storey brick detached structure with a pitched roof. The interior of the building has not been inspected, however the list entry describes the building as dating from the early 19th century, being constructed of brown bricks and a slate roof. The barn to the rear is also built from brown brick with a pitched pantile roof, coped gables and a modillioned brick eaves cornice.

The significance of this listed building lies in its historic significance. Originally the listed building would have had strong links to the countryside, but with the development and expansion of Selby this relationship has diminished. To the rear there are limited views of wide open countryside and has been replaced with the leisure centre, school and housing to the north of Selby Dam.

In the overall hierarchy of significance value, 136 Leeds Road and barn can be attributed MEDIUM significance value.

2.5.2 136 Leeds Road - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

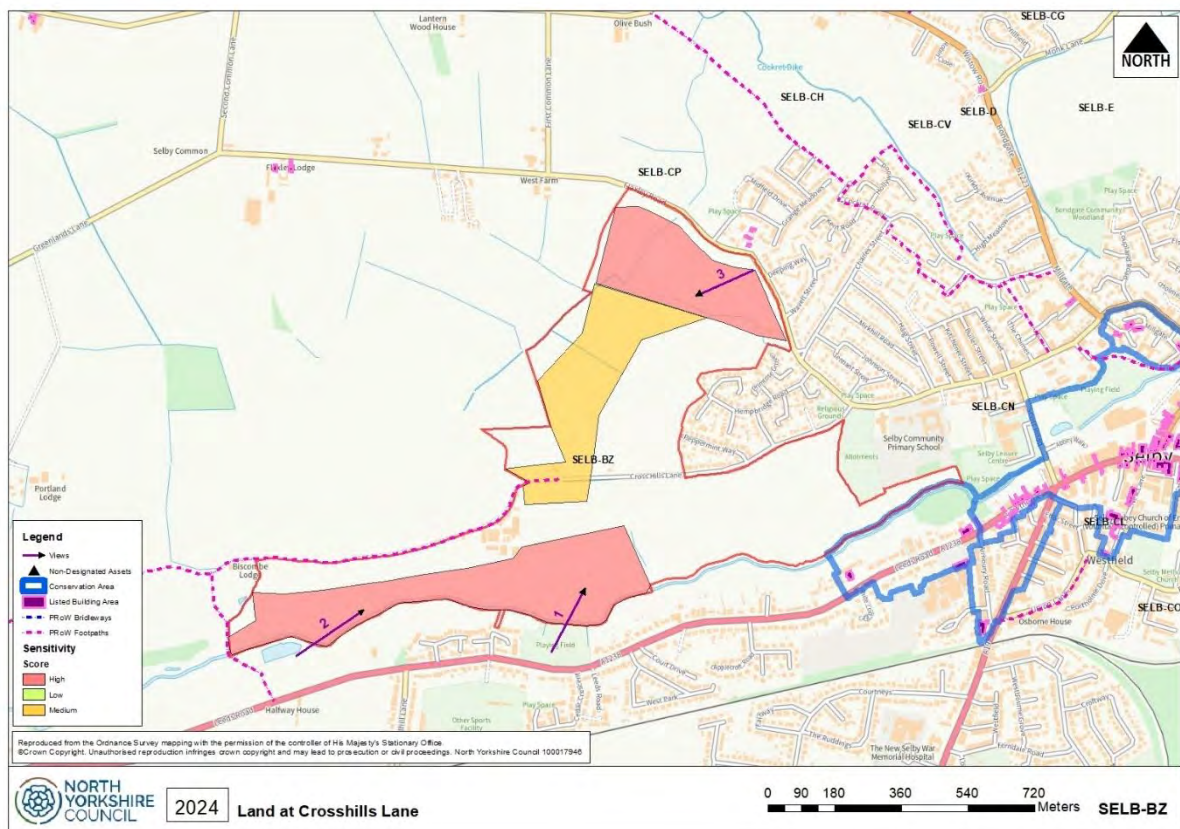
Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Limited impact to setting, leading overall to NO CHANGE to the significance.

Reason for conclusions – Limited views of site to rear.

Recommended mitigation measures / opportunities to enhance significance: Buildings should reflect the local distinctiveness of the historic buildings of Selby.




Above: Map showing areas of sensitivity of SELBY-BZ

3. Summary of heritage impact

The development of the entire site for residential would result in a fundamental change of character of the agricultural land that forms part of the setting of the listed buildings of Hempbridge Farmhouse and barns, Flaxley Road which has the potential to cause harm to their significance through inappropriate development within their setting.

Locating residential dwellings close to existing residential development would ensure that the development is viewed as an organic extension to the existing urban sprawl of Selby.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

 Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: Anne Sims BSc, MA, MRTPI

Date of report: 23/05/2022

SELB-CR Former Ousegate Maltings, Selby

1. The Site

Site name / location: SELB-CR Former Ousegate Maltings, Selby

Description of proposal: Unknown

Description of context: The site is within Selby Town Conservation Area and within the built up area of Selby. The entrance to the site from Ousegate is adjacent to two Grade II Listed Buildings, The Jolly Sailor Inn and 98-104 Ousegate.

Historic maps from the late 19th century show the site formally containing two malthouses and was adjacent to a track which linked to the railway to the west. To the east was a timber yard and other industrial units. To the north and north-east was a row of buildings containing properties and public houses.

2. Designated heritage assets

2.1 Jolly Sailor, Ousegate.

2.1.2 Jolly Sailor, Ousegate - Identification of significance

The public house, now called The Malt Shovel, is a grade II listed building (list entry: 1132525). The building dates to the mid 19th century and is a three storey brick construction which has been painted white. The interior of the building has not been inspected. The structure sits isolated from other structures which has had a detrimental impact upon its significance.

The significance of the building is found in its historic interest and its value as a community hub along Ousegate. The building has strong links back to the industrial history of the town when trading and manufacture were prevalent.



Above: View of The Malt Shovel from Ousegate

The application site is located to the rear of the public house and forms part of its setting. As the site contains a former malthouse which links to the development of this area, the contribution of this site to the significance of the public house is positive.

In the overall hierarchy of significance value, the listed building of the Jolly Sailor (now known as The Malt Shovel) can be attributed MEDIUM significance value.

2.1.2 Jolly Sailor - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development on the site will alter the setting of the designated heritage asset, Jolly Sailor. There is potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures and retaining the former malthouse on the site.

Reason for conclusions – Demolition of the former malthouse would alter the setting of the public house by clearing a large scale structure. Replacement with domestic scale buildings would result in loss of the links to the industrial history of the area. Retaining the former malthouse structure would enhance the area and its historic links to the former industrial uses.

Recommended mitigation measures / opportunities to enhance significance: In order to minimise the harm to the significance of the listed building, the former malthouse building could be retained and developed. Any new buildings to reflect the historic street patterns, building scale and materials. The form of any boundary treatments must be solid brick.

2.2 98-104 Ousegate

2.2.1 98-104 Ousegate - Identification of significance

98-104 Ousegate is a grade II listed building (list entry no. 1365805). It is a short terrace of mid-19th century properties which are three storeys in height and constructed of brown brick with a slate pitched roof. The sash windows have gadrooned keystones in the lintels above, the doors have oblong fanlights and gadrooned keystones in the lintels above.



Above: Photo showing 98-104 Ousegate, Selby facing towards the river. The Site is located to the rear.

The significance of this listed building lies in its historic and architectural interest, with architectural detailing and materials commonly found in this locality. The positioning of the terrace on Ousegate and its development in the mid 19th century contribute to the significance and aid the understanding of the historic development of this area.

The setting of the listed building includes Ousegate, the neighbouring properties and how it is viewed in the streetscene. The Site is located to the rear of the listed building and is viewed in the same context. The Site forms part of the setting of this listed building which contributes to the significance of the designated heritage asset.

In the overall hierarchy of significance value, 98-104 Ousegate can be attributed MEDIUM significance value.

2.2.2 98-104 Ousegate - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development on the site will alter the setting of the designated heritage asset, 98-104 Ousegate. There is potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures and retaining the former malthouse on the site.

Reason for conclusions: Demolition of the former malthouse would alter the setting of the public house by clearing a large scale structure. Replacement with domestic scale buildings would result in loss of the links to the industrial history of the area. Retaining the former malthouse structure would enhance the area and its historic links to the former industrial uses.

Recommended mitigation measures / opportunities to enhance significance: In order to minimise the harm to the significance of the listed building, the former malthouse building could be retained and developed. Any new buildings to reflect the historic street patterns, building scale and materials. The form of any boundary treatments must be solid brick.

2.3 Selby Conservation Area

2.3.1 Selby Conservation Area - Identification of significance

Selby Conservation Area covers the majority of the historic core of the town. The application site is located on the eastern edge of the conservation area.

The significance of the conservation area lies in its variety of building types and ages and its rich history based around Selby Abbey. The site is located within the conservation area and due to the historic building which remains on the site and its links to the industrial development of the town, it contributes positively to the significance of the designated heritage asset.

In the overall hierarchy of significance value, the Selby Town Centre Conservation Area can be attributed MEDIUM significance value.

2.3.2 Selby Conservation Area - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

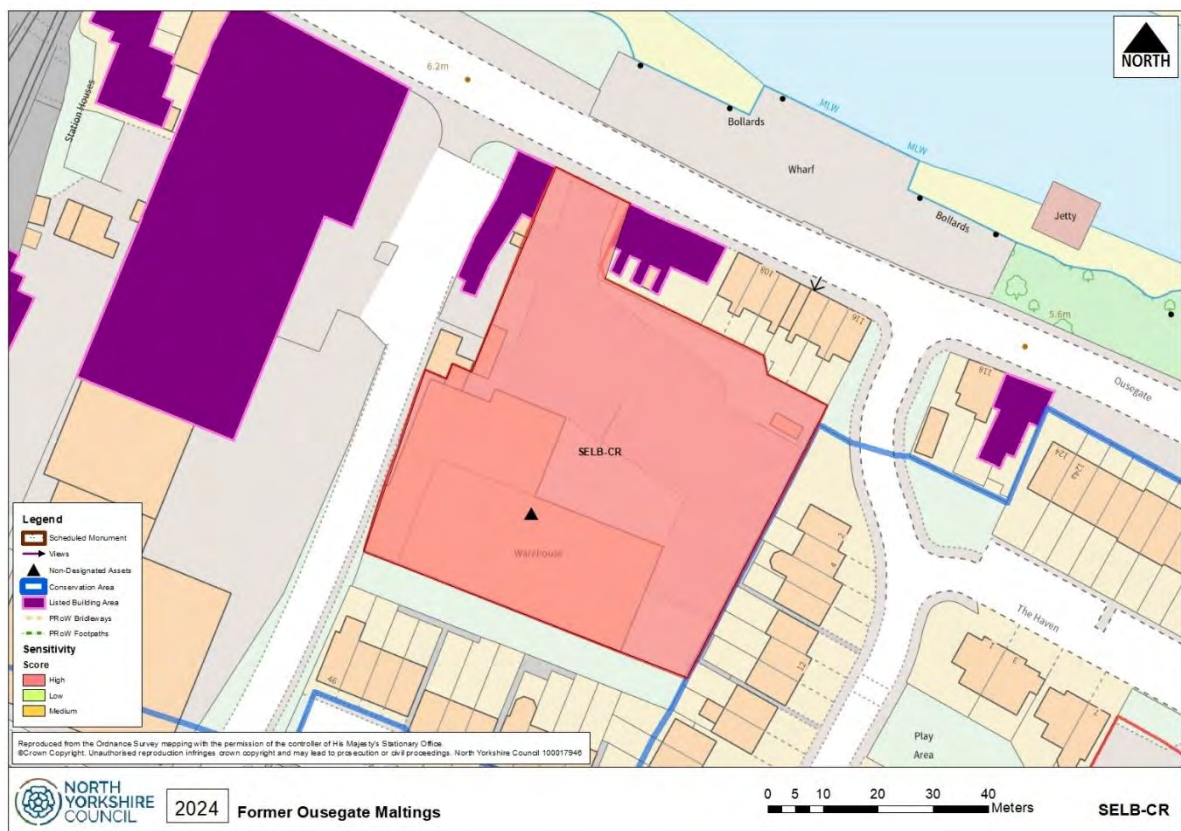
Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development on the site will alter part of the character and appearance of the Selby Conservation Area. There is potential to cause MINOR impact to significance. Potential to reduce level of impact using mitigation measures and sympathetic design approach.

Reason for conclusions – Demolition of the former malthouse would alter the character of the site. Replacement of the malthouse with domestic scale buildings would alter the appearance of the site. Retaining the former malthouse structure would enhance the area and its historic links to the former industrial uses.

Recommended mitigation measures / opportunities to enhance significance: In order to minimise the harm to the significance of the listed building, the former malthouse building could be retained and developed. Any new buildings to reflect the historic street patterns, building scale and materials. The form of any boundary treatments must be solid brick.




Above: Map showing areas of sensitivity of SELBY-CR

3. Summary of heritage impact

The development of the site to retain and convert the former malthouse would enhance the character and appearance of the conservation area. Demolition of the former malthouse and developing the entire site for domestic scaled housing would result in a fundamental change of character of the land within the conservation area. This would have the potential to cause harm to the significance through inappropriate development poor quality materials and lack of relevance to the locality.

Any new housing to be appropriately designed to reflect the local distinctiveness of the area, taking into account street patterns, historic building types and materials.

With regards to the impact on the designated heritage assets, the following score is attributed to the proposed development:

 Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: Anne Sims BSc, MA, MRTPI

Date of report: 27/05/2022

STIL-D, Land located between Escrick and Stillingfleet: New Settlement

1. The Site

Site name / location: STILL-D. Located on land between the south west of Escrick and west of Stillingfleet.

Description of proposal: New settlement with features such as housing, local centre, school and sports facilities.

Description of context: located between the two settlements (and conservation areas) of Escrick (to its east) and Stillingfleet (to its west). It comprises fields, hedgerows, trees, woodland blocks and two farmsteads. The A19 highway forms the eastern boundary of the site with a road (named in this report as the Stillingfleet – Escrick Road) forming its north boundary. The western boundary follows field boundaries; the southern boundary does the same in part, though other features are present (Heron Dike, Heron Wood and the track access to Mount Farm, the farm itself located outside the Site boundary). A bridleway (from Hill Farm) and the Trans Pennine Trail run through the site (the latter following a former railway line).

2. Designated heritage assets

2.1. Stillingfleet Conservation Area

2.1.2 Stillingfleet - Identification of significance

It is the elements of special interest that form the significance of a conservation area. The special interest consists of both architectural and historic interest and is often expressed as its character and appearance. In this case, there is no conservation area appraisal but the special interest derives from elements such as:

- The development of the historic core of the settlement, linear in grain, to either side of Stillingfleet Beck, with buildings located at a higher level to avoid the flood prone greens (see Photo 1, below).



Above: Stillingfleet Conservation Area – Photo 1, looking west (away from the Site) from Stillingfleet Bridge over Stillingfleet Beck.

- The openness of the greens together with the presence of many trees, providing a verdant village landscape.
- The historic use of the greens with regards to being common land, used for rights such as the grazing of animals.
- Landmark buildings such as the grade I listed Church of St Helen (of Norman origins) set in its churchyard and Stillingfleet Bridge, grade II listed, over the Beck, which connects the north and south sides of the village.
- The prevalence of hedge boundaries to properties facing the greens, typically set back behind grass verges.
- Presence of agricultural / former agricultural buildings reflecting the farming history of the settlement (and relationship with the surrounding land).
- On its south side, the historic layout of properties set within narrow fields, most likely crofts, which historically extended to Cawood Road (though development has occurred adjacent to the road).
- The presence of a variety of historic buildings (both designated and non-designated) and brick boundary walls.
- The locally distinctive character of buildings (materials, detailing, scale, massing, form). Typical materials are local red/brown brick and pan tiles.
- Historic footpaths such as that heading north east out of the village, along the Beck.
- The way in which elements of the conservation area are experienced, including views available within and also views out / into of it.
- The relationship of the conservation area with its rural setting. The ability to experience this relationship through the availability of views, both from the conservation area and also as seen from its rural context.

In the overall hierarchy of significance value, the conservation area can be attributed MEDIUM significance value.

The western edge of the Site is located approximately 1km to the east of the conservation area. It does not form its immediate setting but can be said to be part of the wider, rural context.

2.1.2. Stillingfleet Conservation Area - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential to be NO CHANGE to significance due to no/minimal impact on the setting of the conservation area.

Reason for conclusions: Due to distance, topography and landscape features, development of the Site to provide a new settlement will likely have no impact on the setting of the conservation area. Inspection of viewpoints has assisted in assessing setting:

At the eastern edge of the conservation area, where it adjoins the Stillingfleet – Escrick Road, the Site edge is in the far distance with trees screening it from view. This can be seen in photo 2, below, showing View 1.

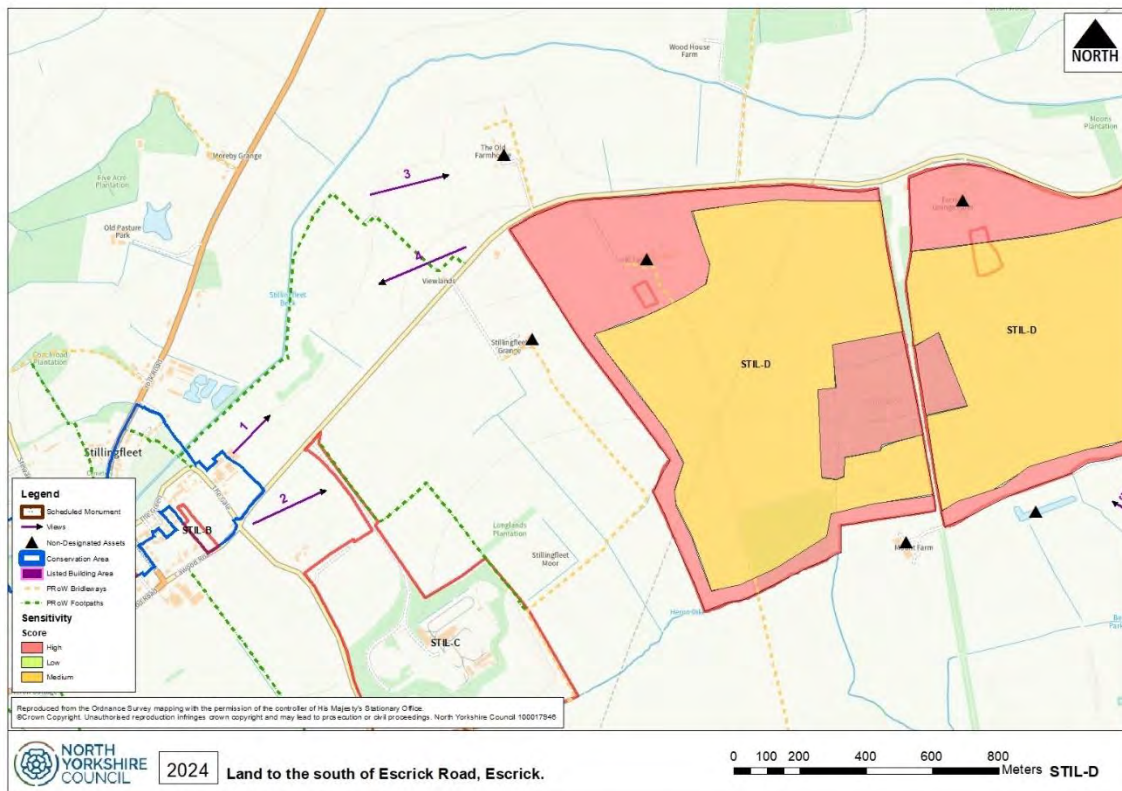


Above: Photo 2 – View 1, looking north east from the east corner of Stillingfleet Conservation Area (from Stillingfleet – Escrick Road Road).



Above: Photo 3 – View 2, looking north east at edge of Stillingfleet Conservation Area where it meets the footpath running alongside the Beck (Manor Farm visible to the right hand side).

At the eastern edge of the conservation area where it adjoins the Beck, due to distance and the lower lying land (compared to that at the position of the Stillingfleet – Escrick Road), the Site cannot be viewed (see View 2, above, taken from the footpath that leads north eastwards along the Beck).



Above: Map analysis of STIL-D relating to Stillingfleet Conservation Area

Travelling further along the footpath, the Site edge may become apparent when the higher level of the roadside (Stillingfleet – Escrick Road) comes into view as seen in photo 8, relating to Beck Farm – see page 15 View 3. However, although this may affect the wider rural context of the conservation area, it is not considered that this will affect setting.

The village can be experienced in the distance when travelling westwards along the Stillingfleet – Escrick Road but due to topography / alignment of the road, this is not experienced until the Site area has been passed (see View 4 on map analysis, above, no photo provided). A new settlement will be apparent on approach to the village but this is not considered to affect setting.

Recommended mitigation measures / opportunities to enhance significance:

None required unless the north-west corner / western edge of the Site will be apparent when experiencing the conservation area in its rural setting/context (though this is considered to be unlikely, as set out above). In any case, provision of a settlement edge here should be carried out in a manner that integrates well with the surrounding countryside (in terms of matters such as landscaping, density and building design); this should in itself help to minimise any visual impacts. This is indicated by identifying the settlement edges as areas of higher sensitivity.

3. Escrick Conservation Area

3.1 Escrick Conservation Area - Identification of significance

The draft Escrick Conservation Area Appraisal* (appraisal) provides an analysis of the character and appearance of the conservation area, setting out those elements that contribute to its special architectural and historic interest.

It is the elements of special interest that form the significance of a conservation area. In the case of Escrick, those elements include, but are not limited to:

- Its status as an estate village (Escrick Park Estate) of the 19th and 20th century.
- The way in which the estate forms the majority of the conservation area, with several designated heritage assets and non-designated assets such as the parkland.
- The presence of historic, communal facilities as part of the estate village, such as the village hall and almshouses.

- The survival of the historic core of the village, despite later infilling and surrounding housing estates.
- The presence of earlier buildings but the majority reflecting estate architecture of 19th and 20th century (see photo 4, below). Evidence of Garden City Movement ideals in the form, style and detail of many buildings. Materials are local brown-red brick and pan tiles, Welsh slate or plain clay tiles, with detailing includes timber barge boards to the gables, fish scale hanging tiles, ornate chimney stacks and mock timber framing to gables.
- The position of buildings along the main street, to a linear grain, set back in individual plots behind large front gardens.
- Property boundaries formed by brick walls and hedges.
- The presence of mature trees within the streetscape.
- The group of buildings including the Church of St Helen's (grade II* listed) and the Parsonage Hotel (grade II listed), located in the north-west part of the conservation area.
- Important open spaces within the streetscene, such as the grounds of the almshouses and village green.
- Significant mature woodland forming the setting of conservation area both within and outside the conservation area.
- The way in which elements of the conservation area are experienced, including views available within.
- The relationship of the conservation area with its rural setting, particularly on the southern side which is formed by the grounds of the Escrick Park.



Above: Photo 4, looking south along Main Street showing earlier 20th century properties typical of the Escrick Conservation Area (image taken from the draft appraisal).

In the overall hierarchy of significance value, the conservation area can be attributed MEDIUM significance value.

In terms of important open space, the whole of the historic Escrick Park makes a strong contribution to the Escrick Conservation Area (it being identified as such within the draft appraisal). This forms the majority of the land at the south of the conservation area, up to the A19 and forming its south boundary (though also extends beyond the boundary, to the south). It provides open views of the Escrick Park house (grade II* listed) and designed landscape and forms the setting of the designated heritage assets. The house and surrounding grounds have been in use as Queen Margaret's School for some time. This restricts access but in the wider estate, some facilities are open to the public, in addition to the provision of events from time to time.

The Site is located to the immediate south west of the conservation area (which comprises the historic parkland), at its south western corner, separated by the A19. The land within the Site, which is believed to be in the ownership of Escrick Park Estate, forms the adjoining agricultural land, as opposed to historic parkland (which is located to the east of the A19). However, aspects of the wider estate features may have extended to this area (such as Mount Pond, see section 4.3.1. and 4.3.2.).

At the point where the conservation area and Site meet (at the junction between the A19 and the Stillingfleet – Escrick Road) is located a formal entrance to the estate marked by the presence of Stillingfleet Lodge (historic name, now currently known as Rutland House).

A 'contextual view' is identified in the draft appraisal, looking into Escrick Park from the entrance at Stillingfleet Lodge. This is shown as View 7 within this report (see photo 6 below). Stillingfleet Lodge can also be considered as a non-designated heritage asset. It is built of buff brick with stone dressings (such as kneeler stones to gables, stone mullions with arched heads to windows and bay windows). With steeply pitched roofs and substantial quadruple chimneys. Subject to extension and alteration in 20th / 21st century. Present on mid-19th century OS maps. Lodge at one of the formal entrances to Escrick Park, whereby this OS maps appear to indicate that this would potentially give access to the frontage of the house (as opposed to access the rear/north ancillary buildings). Brick boundary wall to road with recessed railings at entrance, set on low plinth stone wall.

The Site forms part of the setting to the conservation area, there being a close visual relationship and where the Site forms part of the rural context to the conservation area (and historic parkland). This makes a positive contribution to setting and therefore significance.

3.2. Escrick Conservation Area - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

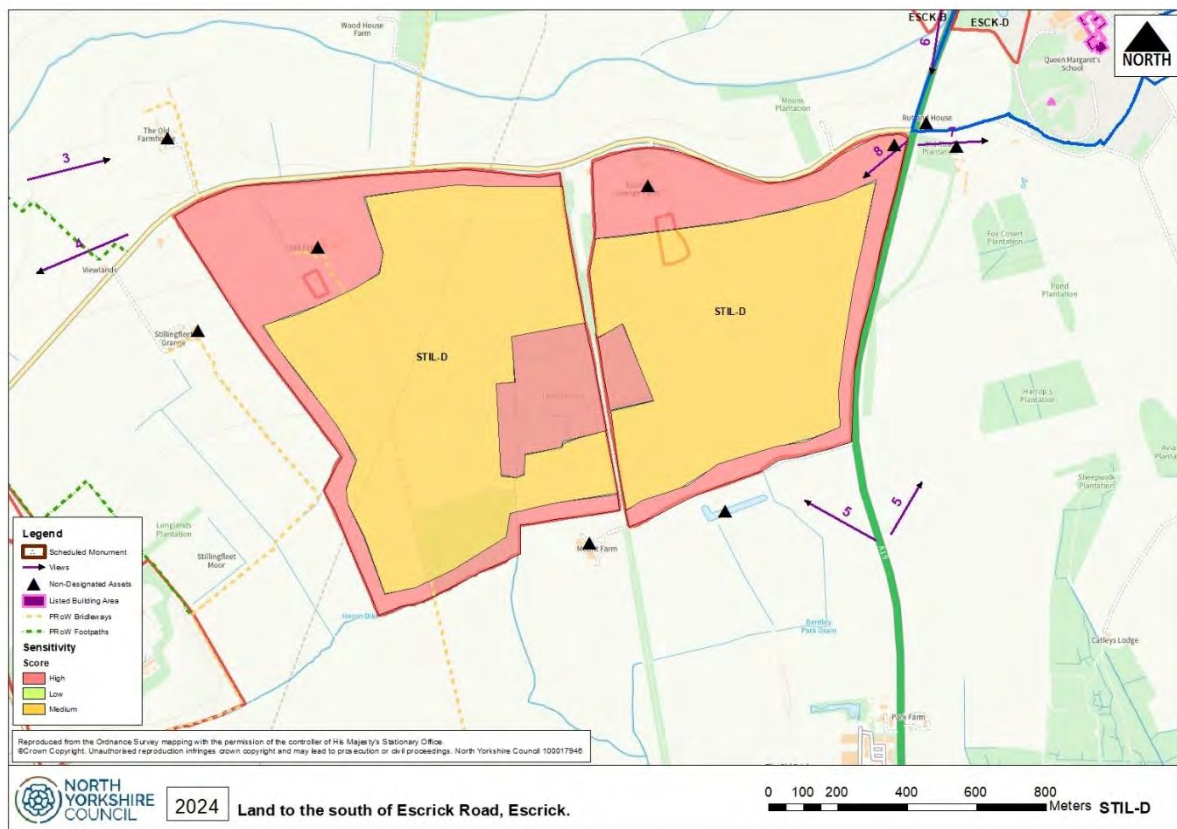
Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate-high impact to setting, leading to overall MODERATE scale of impact to significance. Potential to reduce level of impact using mitigation measures.

Reasons for conclusion:



Above: Map analysis of STIL-D in relation to Escrick Conservation Area and heritage assets associated with Escrick Park.

Development of the Site has the potential to fundamentally change the character of the land and therefore affect the way in which the south / south west area of the conservation

area is experienced (which except for the busy A19 road, is surrounded by land of rural character). Similar impacts are identified for the extended parkland to the south of the conservation area, which is classed as a non-designated heritage asset (see section 4.3.1. and 4.3.2.).

The historic parkland, that forms the affected part of the conservation area, is seen in context with the Site when travelling on the A19, to the south of the conservation area boundary, though roadside trees provide some screening (this is identified as view 5 on the map analysis). The overall appearance is a rural one, with the land on either side characterised by fields, trees/woodland blocks and hedgerows. When trees are not in leaf, this may give rise to glimpse views of buildings to the south of the conservation area boundary – a range of buildings shown here were built between the mid-19th century and 1908 – one named as ‘Keeper’s House on the 1908 map – see section 4.3.1. and 4.3.2.).

The part of Escrick Park Estate that falls within the conservation area is well screened from the A19 due to the presence of roadside trees. View 6 below, demonstrates this.



Above: Photo 5 – View 6 looking south along A19 at layby, west edge of Escrick Conservation Area present on left of image.

However, as identified by the contextual view in the appraisal, the estate can be experienced at the formal entrance (by Stillingfleet Lodge). See photo 6 – view 7, below. The view would not be affected by development of the Site in this location (as it looks away from the Site); however, the experience on approach would be changed as some of the rural setting may change to built form, potentially of suburban form.

Further, indicative plans shown in the applicants website* show a new roundabout in this location. Even if this could be built in a manner that conserves the current boundary walls and railings, the further highways intervention of a roundabout will add additional harmful impacts to this traditional entrance to the estate.



Above: Photo 6 – View 7, contextual view identified in draft Escrick Conservation Area appraisal, looking into Escrick Park from access off A19 by Stillingfleet Lodge.



Above: Photo 7 – View 8, looking south west into the north east corner of the Site, from the entrance to Escrick Park at Stillingfleet Lodge.

On exit from Escrick Park at the Stillingfleet Lodge access, and generally as viewed from the A19, the Site edge immediately adjoins the road. There is therefore a close relationship between this north east corner of the Site and the Park (see View 8, above). The introduction of built form in this location would affect the rural character of the setting, suburban forms resulting in particular harm due to the fundamental change in appearance of the land. Although trees are present on the Site edge and provide some screening, built form would be visible through trees (and more so when trees are not in leaf). The presence of rear gardens of dwelling enclosed by standard close board fencing would, for example, be harmful in this location. Many of these trees are subject to tree preservation orders.

Views from within the park (not inspected) looking towards the Site, are expected to be screened by trees.

Recommended mitigation measures / opportunities to enhance significance:

The provision of a planned, new settlement by Escrick Park Estate has links to way in which the 19th century / early 20th century parts of Escrick were developed (perhaps inspired by the Garden City Movement, or at least evidencing planning of a settlement/building types for the benefit of its residents). However, this does not remove the need to consider the impact on the setting of the conservation area; as potential harmful impacts are identified, the following mitigation is recommended:

- Avoidance of intrusive highways interventions at the entrance to Escrick Park estate by Stillingfleet Lodge.
- Avoidance of development on the north east corner of the site so that separation between the conservation area and estate can be achieved and so that the rural character of the land is maintained. This area identified as an area of higher sensitivity on the map analysis, see page 8.
- If development were to be provided in this area, high density, suburban forms of built form should be avoided, a generous set-back be provided, allowing for retention of trees, hedgerows and grass verges to the roadsides.
- Generally, this and other settlement edges should be designed so that they integrate well with the surrounding context (this is indicated by identifying the settlement edges as areas of higher sensitivity).
- Through the site, connective walking/cycling routes to Escrick Park (subject to access) would be desirable in order provide a link to the historic part of the Estate and parkland, in the interests of place-making. In addition, provision of

interpretation / education could be provided to aid understanding. Provision of access to the Trans Pennine Trail should be provided.

- Retention of woodland blocks (Heron Wood being classed as Ancient Woodland and which is therefore identified as an area of higher sensitivity), trees and hedgerows. Appropriate space to be given to trees in the interests of amenity and so that future pressure for tree removal is avoided. Retention of hedgerows in a manner that avoids their future loss (such as if forming boundaries to private gardens).
- Building design should be locally distinctive in terms of elements such as scale, massing, form and detailing and consideration could be made of provision of contemporary forms of architecture in achieving this.

4. Non-designated heritage assets

4.1. Hill Farm and Escrick Grange Farm

These two, historic farmsteads are grouped together due to potential, similar impacts. They are both located within the Site (to the south of its northern boundary, accessed off the Stillingfleet – Escrick Road).

4.1.1. Hill Farm and Escrick Grange Farm - Identification of significance

Escrick Grange Farm – Located to the south of the northern boundary of the eastern half of the Site. Present on mid-19th century OS maps and buildings present to a similar footprint.

Hill Farm – Named as such as it sits close to the high point of Stillingfleet Hill. Located to the south of the northern boundary of the western half of the Site, down a short access track. Present on mid-19th century OS maps and buildings present to same footprint. A bridleway leads from the south of the farm, southwards, through the Site.

Both farmsteads have not been inspected, therefore it has not been possible to ascertain the extent of survival / alteration but there is potential for the farmsteads, or part of them, to be considered to be non-designated heritage assets. Significance would in this case likely derive from the historic / architectural form of the farmhouses and range of farm buildings, the extent of survival of the buildings, the way in which they evidence past agricultural practices and their setting within a rural context.

Further investigation is required to ascertain the heritage status of the farmsteads but there is potential to be classed as having LESSER significance value in the overall hierarchy of the significance.

The farmsteads are located within the Site and it forms their surrounding fields. This provides an agricultural context to the farmsteads which makes a positive contribution to their setting.

4.1.2. Hill Farm and Escrick Grange Farm - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

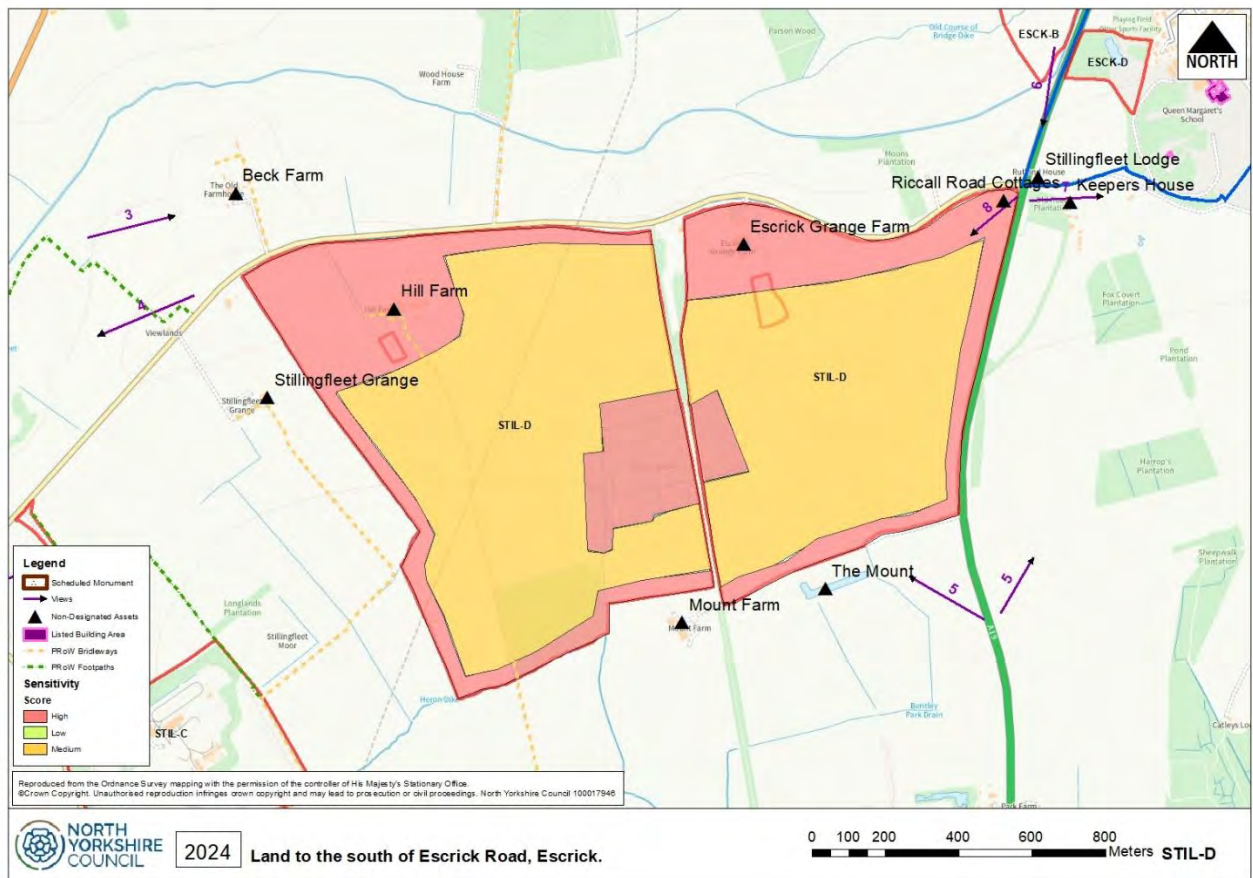
Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for high impact to setting, leading to overall MODERATE scale of impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: The indicative masterplan (available online) shows that the buildings of the farmsteads would be retained within the new settlement. Otherwise, demolition of historic buildings would result in the most severe level of harm as they would be permanently lost (and scale of impact could be major).



Above: Map analysis of STIL-D in relation to non-designated heritage assets (farmsteads)

Loss of the surrounding fields would remove the agricultural context of the farmsteads (likely at that point to have become former farmsteads), thereby harming the positive contribution the land makes to setting. This would be particularly harmful where the farmsteads are completely surrounded by built form so that the experience of the farmsteads in context with the rural context is lost.

Recommended mitigation measures / opportunities to enhance significance:

- If farmsteads become redundant and conversion is proposed to an alternative use (such as residential), then proposals should be designed in such a way as to conserve the agricultural character of historic buildings and the farm site (for example, by retention of historic features and avoidance of domestic forms of extensions, openings and features such as chimneys).
- Provision of space about the farmstead so that farmland/fields are retained around them and so that a connection with the wider countryside context is maintained (so that the farmstead is not entirely subsumed by development). Provision of low

density built form and avoidance of suburban form in their setting. This is shown by identifying approximate areas of higher sensitivity in the map analysis (page 12).

- Consideration of provision of views within the Site layout towards the heritage assets so that the former agricultural character of the land has some legibility / to enrich a sense of place.

The desirability of providing the above mitigation will be dependent on identification of the level of significance of each farmstead.

4.2. Beck Farm, Stillingfleet Grange and Mount Farm

4.2.1. Beck Farm, Stillingfleet Grange and Mount Farm - Identification of significance

These historic farmsteads are located outside, but close to the Site boundaries. These are grouped together due to similar identified significance and potential impacts.

Beck Farm - Located to the north at the north-western corner of the Site (north of the Stillingfleet – Escrick Road). Former farmstead, now converted to residential use. Present on mid-19th century OS maps and buildings present to a similar footprint with alterations to the layout of the range of farm buildings since then. Farmhouse located to east with barn and additional ranges of farm/outbuildings arranged in a long, U-shaped layout. Built of local brick with pan tile roofs.

Stillingfleet Grange – Located to the west of the western boundary of the Site, south of the Stillingfleet – Escrick Road. Former farmstead, now converted to residential use. Farmhouse located to east with barn and additional ranges of farm/outbuildings arranged in a U-shaped layout. Built of local brick with pan tile roofs.

Mount Farm – Located to the south of the southern Site boundary, to the west of the Trans Pennine Trail. Present on mid-19th century OS maps and buildings present to a similar footprint. Not inspected so unable establish significance. Located to the west of The Mount and Mount Pond (see section 4.3.1. and 4.3.2.).

Beck Farm and Stillingfleet Grange, have not been inspected but assessment of historic OS maps and distant views indicate that they are likely to be of sufficient heritage interest to be classed as non-designated heritage assets. Mount Farm has not been inspected but there is potential for the farmstead, or part of to be considered to be non-designated heritage

assets. For all, the extent of survival / alteration has not been ascertained (which will have bearing on level of significance).

However, significance would in this case likely derive from the historic / architectural form of the farmhouse and range of farm buildings, the extent of survival of the buildings, the way in which they evidence past agricultural practices and their setting within a rural context.

Further investigation is required to ascertain the heritage status of the farmsteads but there is potential to be classed as having LESSER significance value in the overall hierarchy of the significance.

The Site forms part of the setting of the historic farmsteads, being part of the rural surroundings in which they can be experienced. This provides an agricultural context to the farmsteads, aiding legibility of the former agricultural use (in the case of Beck Farm and Stillingfleet Grange) which makes a positive contribution to their setting.

4.2.2. Beck Farm, Stillingfleet Grange and Mount Farm - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate impact to setting, leading to overall MINOR scale of impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Whilst the immediate surrounding land is not wholly affected by the proposed new settlement, there is potential for the introduction of built form to introduce harmful impacts to the rural setting of the farmsteads / former farmsteads. This

would be particularly so where the building line on the relevant edges of the Site is suburban in character, or is of high density and set close to the boundary.

For Beck Farm, the experience of the farmstead would be changed to a small extent when travelling along the road but also where new development may be seen on higher land from the footpath that leads from Stillingfleet along the Beck (both seen in context of the farmstead and probably from within it), see View 3, below.

For Stillingfleet Grange, the experience of the farmstead would be highly changed to a large extent when travelling along the road as the Site provides the closely related rural backdrop in which the farmstead is viewed on its eastern side. Views of the Site from within the farmstead would be available and have the same impacts.

For Mount Farm, the Site edge would be located just to its north and would extend westwards and eastwards. There will be some screening by trees (both from the woodland block and trees lining the Trans Pennine Trail), however, there is potential for harmful impacts from the introduction of development if it changes the rural setting of the farmstead.



Above: Photo 8 – View 3, Beck Farm as viewed from public footpath that runs from Stillingfleet along the Beck (looking north east). Rising land up to the Stillingfleet-Esrick Road visible to right.

Recommended mitigation measures / opportunities to enhance significance:

- Factors such as building line, positions, scale/massing/heights and provision of landscaping should be taken into account in designing the edges that form the

setting of the farmsteads, so that development integrates well into their landscape context and which will therefore have mutual benefits for the heritage assets.

4.3. Escrick Park

4.3.1. Escrick Park - Identification of significance

Escrick Park forms part of the designated conservation area but the extended park land is located beyond its southern boundary. The approximate area, as indicated on mid-19th century OS maps, is shown on map analysis, page 8.

The OS map shows features such as:

- A deer park, with Temple Walk leading south towards the grade II listed Garden Temple (mid-late 18th century).
- 'Sheep walks' to the south of the deer park.
- Two lodge buildings (Denisons Lodge and Cattleys Lodge).
- A range of buildings in the layout of a farmstead where a 'menagerie' is shown (taken to mean a place to keep a collection of animals).
- A second duck decoy pond (the first, to the north, being located within the conservation area).
- Substantial woodland areas to the south.
- Keeper's House and associated buildings (not inspected), to the south east of Stillingfleet Lodge (but added later between the mid-19th century and 1908).

Outside the parkland area are located:

Riccall Road Cottages - Pair of dwellings to west of A19, located to the south west of the Lodge building and built in similar brick but in a more modest style (red brick window surrounds with probable stone cills/heads, twin gables to front and likely earlier 20th century window replacements. These have significance as outlying Estate cottages, located with a land that is rural in character.

The Mount / Mount Pond - Located just outside the south boundary of the Site. Mount Pond is a long, L-shaped pond. Mid-19th century OS maps show an earthwork at the west end of the pond, named as 'The Mount.' The Yorkshire Gardens Trust information* on the history of Escrick Park suggest that this may have been one of several fish ponds created in the mid-18th century for the Estate. Satellite imagery shows the pond still present, surrounded by trees. If the origins are correct, then the feature will have significance as being part of the extended Estate and as an example of an historic fishing pond (potentially relating to pleasure pursuits and/or for food provision).

Garden Temple (grade II listed), Denisons Lodge and Cattleys Lodge and the menagerie buildings are located within the extended parkland but their setting is highly unlikely to be

affected by the new settlement because of the presence of several woodland blocks on the western edge of the parkland.

Stillingfleet Lodge is also a non-designated heritage asset but as it forms part of the conservation area, it is discussed within sections 3.2.1 and 3.2.2.

The parkland and assets within have significance as an historic, designed parkland, developed over time from the 1780s to the 1820s, associated with Escrick Park House. This evidences the way in which landowners shaped the countryside associated with their country houses. The various elements and buildings demonstrate a good range of features typical of a country estate. The assets have not been inspected but satellite imagery shows that elements of the parkland, such as the deer park, has over time changed to agricultural fields. Some woodland areas remain but there have been changes, partly associated with the change to agricultural fields. Heritage assets appear to be present, but the extent of survival to their historic form is not known (not inspected). The A19 is a detracting factor to setting due to the extent of traffic on this busy route.

The Site forms a small part of the setting to the historic parkland, the land being located on the west side of the A19, where in parts (generally to the southern extent of the Site there are views towards the western fringes of the parkland area to the east of the A19, viewed in context with the Site – see view 5 on the map analysis, page 8). However, the presence of many trees at the roadside (eastern side), together with woodland blocks, screen from view the parkland (though this may change when trees are not in leaf). This differs from the eastern side of the parkland, where views into it can be experienced from Skipwith Road, including views of the Garden Temple. In general, the Site forms part of the rural context of the parkland and can be said to play a positive role as part of its landscape setting. It therefore forms a small part of the significance of the parkland. It is unlikely that views of the Site would be available from within the extended parkland (but this has not been inspected).

Glimpse views of Keepers House and associated buildings are available from the A19 to the south of the site.

Riccall Road Cottages are located within the Site therefore it forms their immediate setting.

4.3.2. Escrick Park - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate-minor impact to setting, leading to overall MINOR scale of impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development of the Site has the potential to fundamentally change the character of the land and therefore affect, in part, the way in which the extended parkland is experienced on its western side (which except for the busy A19 road, is surrounded by land of rural character, the overall appearance being a rural one, with the land on either side characterised by fields, trees/woodland blocks and hedgerows). Depending on the location and form of development, there is potential for harmful impacts resulting from a suburbanising effect on the Site.

The setting of the Mount and Mount Pond will be similarly affected as there is potential the same changes to the land will introduce harmful impacts, with the new settlement edge being located close to it, on its northern side.

Riccall Road Cottages may be particularly affected as there is potential for development to surround them, thereby changing the relationship of the estate cottages with the rural setting formed by the Site.

Recommended mitigation measures / opportunities to enhance significance:

As identified for the conservation area (see section 3.2.2.), mitigation measures can be used to assist in minimising impacts, enabling the new settlement to integrate well with the surrounding context, particularly on Site edges.


5. Summary of heritage impact

The provision of a new settlement will result in a fundamental change to the rural setting of the heritage assets, both designated and non-designated, due to the change in character of land from rural fields to developed land. The level of harm will be dependent on the exact form and location of development within the Site area and mitigation measures are recommended as a means to minimise harm – in general, this mitigation can be achieved in part by careful integration of the settlement edges with the surrounding countryside,

retaining woodland blocks, trees and hedgerow field boundaries and by conserving the setting of historic farmsteads, both within and outside the Site area. A landscape impact assessment by others will be critical in informing the layout and landscaping strategy for the new settlement.

Any new settlement must be designed with place-making at its heart and there will be opportunities to connect to (perhaps both physically and also in terms of education / interpretation) to the historic Escrick Park Estate.

With regards to the designated heritage assets, the following score can be given:

 Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: Emma Gibbens BSc MSc IHBC

Date: 31st May 2022

***References:** Draft Escrick Conservation Area Appraisal: [Escrick Conservation Area Appraisal v2.pdf \(selby.gov.uk\)](#)

Heronby (applicant's) website: [Heronby](#)

Yorkshire Gardens Trust, history of Escrick Park: [Escrick Park | Yorkshire Gardens Trust](#)

TADC-AD Fircroft and former Barnardo's Home, Wighill Lane, Tadcaster

1. The site

Site name / location: TADC-AD Fircroft and former Barnardo's Home, Wighill Lane, Tadcaster - The site is located off Wighill Lane in Tadcaster.

Description of proposal: Residential Conversion



Above: Location of site to the north of Tadcaster

Description of context:

The site is located within the curtilage of Fircroft, which is a Grade II listed building located to the north of Tadcaster. There are also curtilage listed buildings on Wighill Lane which are the lodge buildings, coach house and boundary walls to Fircroft.

2. Designated Heritage Assets

2.1. Fircroft

2.1.1 Fircroft - Identification of significance



View 1 of Fircroft from the north

Fircroft is a grade II listed building (list entry: 1240858). The building was constructed as a small country house in 1894 in the neo-tudor style. It is constructed of coursed rubble with ashlar dressings and slate roof. There are 7 stone chimney stacks and ashlar coped gables with kneelers and ball finials. The windows are ashlar cross mullion windows with plain sashes, and mullion windows to the attics. The south front has a recessed centre with a large 6-light stair window. Beyond to the right a gabled projection with a 2 storey canted bay window and in the gable a 3 light window. To the left a 3 storey narrow gabled projection with a single storey service wing set back beyond. The listed building description provides an assessment of the interior: *“Large entrance/staircase hall with glazed entrance screen and front door with stained glass. Panelled wainscoting. Segmental arched recess and 2 similar entrance arches with pairs of wooden brackets supporting coffered ceilings. 2 flight staircase with bulbous turned balusters and square newels, leading to galleried landing with similar balustrade supported on wooden 4-centred arches with ornate columns. Large 18-light stair window with stained glass. Dining room has panelled dado, embossed frieze and wooden panelled ceiling. Buffet alcove with coffered ceiling and built-in buffet columned top, matching wooden fire surround with similar columned over-mantle. Drawing room, to left of entrance, has yellow and white marble fireplace, to right of entrance, has grey marble fireplace and dado rail. Wooden door surrounds and panel doors throughout.”*

The significance of the building lies in its architectural and historic interest, remaining intact historic fabric. Its setting comprises of the surrounding land around Fircroft contained within the boundary walls and this space is intrinsic to the understanding of significance of the property and its development. The rural setting beyond the curtilage boundary wall also has a positive impact upon the significance of the designated heritage asset, as it maintains the historic relationship between the house and the countryside, as the house was built as a country house.



View 2 of outbuildings to the south of Fircroft and boundary wall running along Wighill Lane

In the overall hierarchy of significance value, Fircroft can be attributed MEDIUM significance value.

2.1.2 Fircroft - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate impact to setting, leading to overall MODERATE impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Standard forms of development of the site, such as the infilling of green spaces with new dwellings to the extent of the site boundary and / or including the demolition of historic buildings, will affect the fabric and/or settings of the listed building and the curtilage listed buildings in a fundamental manner and will cause substantial harm to the significance of these heritage assets.

Recommended mitigation measures / opportunities to enhance significance: Development that constitutes sensitive re-use of the existing buildings (appropriate to their listed status), is appropriate to the setting of the listed buildings and avoids demolition of historic buildings could be accommodated.

3 Non-designated heritage assets

None

4 Summary of heritage impact

Development and conversion of the existing buildings will have a direct impact upon historic fabric. The development of the existing buildings has the potential to cause harm to their significance.

Development within the grounds and in close proximity to the listed building and curtilage listed buildings will impact upon the significance of the designated heritage asset through development in the setting.



Map showing areas of sensitivity of TADC-AD in relation to the setting of Fircroft and its curtilage listed structures

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: Anne Sims BSc, MA, MRTPI

Date of report: 30/06/2022

TADC-H Central Area Car Park, Tadcaster

1. The site

Site name / location: TADC-H Central Area Car Park, Tadcaster

Description of proposal: Unknown

Description of context: The site is within Tadcaster town centre. The site is the town centre's main car park. The site includes a gap site to High Street and the Falcon Inn, Chapel Street. To the immediate north-east and south-east are period properties, mainly two or three storeys in height, mostly in commercial use. To the south-west, on the opposite side of Chapel Street, is residential property and to the north-west is the grade II* listed medieval building, The Old Vicarage, and open space. The upper part of the tower of Saint Mary's Church is visible from parts of the site, above the roof of the grade II* listed medieval building, The Ark, located immediately to the north of the site.

The site is now mostly devoid of buildings as a result of clearance in the late 1960s. It seems likely that the layout and alignment of many of the demolished structures, particularly those to the rear of the properties on High Street, had some fundamental relationship to the surviving medieval burgage plots. Unclear whether the historic plots near The Old Vicarage were created from a sub-division of that medieval building's land or perhaps a truncation of burgage plots to High Street. The draft Tadcaster Conservation Area Appraisal states, the medieval burgage plots are difficult to read in the historic townscape and this is one of the areas for future research.



View South across site towards High Street



View south-east across site towards the rear of the properties on High Street



View north across site north towards The Ark and The Old Vicarage



View across site looking north-east towards Chapel Street

2. Designated heritage assets

2.1 28 High Street, Tadcaster.

2.1.1 28 High Street, Tadcaster - Identification of significance

Grade II listed building (list entry: 1316706). The listed building description is as follows:

House. Late C18 with later alterations. Stucco facade, ashlar dressings, Welsh slate roof and brick stacks. 2 storeys, 3 first floor windows. Plinth. Quoins. 4 steps to end entrance: 4-panel door under oblong fanlight in moulded ashlar architrave with keystone. Bar window to right with C20 casements. Otherwise sash windows with cills, those to first floor with wedge lintels with keystones. Modillion eaves band. End stacks.



View of 28 High Street (to left) and 24 and 26 High Street (centre of photograph)

The significance of the listed building lies in its architectural interest, use of local traditional materials, form and fenestration which includes timber sliding sash window and ashlar stonework.

The setting is how it is experienced within the streetscene, along High Street as well as its ancillary and private space to the rear, which is now visible from the Site.

The contribution of the Site to the significance of the listed building is neutral.

In the overall hierarchy of significance value, 28 High Street can be attributed MEDIUM significance value.

2.1.2 28 High Street, Tadcaster - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the Site which fails to respond to the scale and layout of surrounding buildings has the potential to cause harm to significance. Conservation-led development in this location is essential for a successful development here.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to historic burgage plots. Use traditional local materials. Development to show an understanding of local distinctiveness.

2.2 24 and 26 High Street, Tadcaster

2.2.1 24 and 26 High Street, Tadcaster – Identification of significance

A grade II listed building (list entry no. 1167347). The listed building description is as follows:

Pair of houses. Early C18 with later alterations. Pinkish-brown brick, with pantile and stone slate roof. L-shaped on plan. 2 storeys, 4 bays. End entrance to No 26: C20 door under radial fanlight with glazing bars below round arch. Carriage entrance to third bay with through passage to rear with exposed beams and rafters. Rear entrance to No 26. 2 bow windows, the centres 16-pane sashes between 8-pane sashes in pilastered surround and with cornice. 3-course first floor band. First floor: 2 pane sashes in flush wood architraves. Roof higher and hipped to right. Ridge, end and rear stacks.

The significance of the listed building lies In its architectural interest, use of local building materials, its two storey form creating varied roof form and fenestration.

The setting is how it is experienced within the streetscene, along High Street as well as its ancillary and private space to the rear, which is now visible from the Site.

The contribution of the Site to the significance of the listed building is neutral.

In the overall hierarchy of significance value can be attributed MEDIUM significance value.

2.2.2 24 and 26 High Street, Tadcaster – Identification of impact on significance

The scale of impact is based on these categories:

Major – Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate – Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor – Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial – Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change – No change to assets or their settings

Summary of scale of impact: Potential for moderate impact to setting, leading to overall MODERATE impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the Site which fails to respond to the scale and layout of surrounding buildings has the potential to cause harm to significance.

Conservation-led development in this location is essential for a successful development here.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to historic burgage plots. Use traditional local materials. Development to show an understanding of local distinctiveness.

2.3 18 High Street, Tadcaster.

2.3.1 18 High Street, Tadcaster – Identification of significance

A grade II listed building (list entry: 1132440). The listed building description is as follows:

House. Early C13 with C20 additions and alterations. Pinkish-brown brick with pantile roof and remains of magnesian limestone plinth. 2 storeys. 2 first floor window. 3 steps to central 4-panel door under soldier arch. Ground floor: canted outer bays are probably C20 with C18 brick and have 16-pane sashes to centres and 8-pane lights. First floor 12-pane Yorkshire sashes. Swept roof. End stacks.

The significance of the listed building lies in its historic and architectural interest, an early structure within Tadcaster which has been altered for practical use. Its construction from local building materials add value to the structure.

The setting is how it is experienced within the streetscene, along High Street as well as its ancillary and private space to the rear, which is now visible from the Site.

The contribution of the Site to the significance of the listed building is neutral.

In the overall hierarchy of significance value, the listed building can be attributed MEDIUM significance value.



18 High Street, Tadcaster

2.3.2 18 High Street, Tadcaster – Identification of impact on significance

The scale of impact is based on these categories:

Major – Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate – Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor – Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial – Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change – No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the Site which fails to respond to the scale and layout of surrounding buildings has the potential to cause harm to significance. Conservation-led development in this location is essential for a successful development here.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to historic burgage plots. Use traditional local materials. Development to show an understanding of local distinctiveness.

2.4 16 High Street, Tadcaster.

2.4.1 16 High Street, Tadcaster – Identification of significance

A grade II listed building (list entry: 1132439). The listed building description is as follows:

House now shop. Late C18 – early C19, with C20 ground floor. Pinkishbrown brick with ashlar dressings and Welsh slate roof. 2 storeys, 4 bays. Plinth. Stem to off- centre C20 glazed entrance between glazed bay windows. End entrance, a 6-panel door under round arch with keystone. 4-course first floor band not continuous. First floor: 12-pane sashes.

Second floor: 6-pane sashes, all under wedge lintels with fluted keystones and with cills.
Double dentil eaves cornice. End stacks.

The significance of the listed building lies in its architectural interest, use of local pinkish brown brick with ashlar stone plinth and dressings.

The setting is how it is experienced within the streetscene, along High Street as well as to the rear, which is now visible from the Site.

The contribution of the Site to the significance of the listed building is neutral.

In the overall hierarchy of significance value, the enter asset type or name can be attributed MEDIUM significance value.

2.4.2 16 High Street, Tadcaster – Identification of impact on significance

The scale of impact is based on these categories:

Major – Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate – Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor – Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial – Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change – No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the Site which fails to respond to the scale and layout of surrounding buildings has the potential to cause harm to significance.

Conservation-led development in this location is essential for a successful development here.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to historic burgage plots. Use traditional local materials. Development to show an understanding of local distinctiveness.

2.5 14 High Street, Tadcaster.

2.5.1 14 High Street, Tadcaster – Identification of significance

A grade II listed building (list entry: 1316705). The listed building description is as follows:

House, now shop. Late C18 -early C19. With C20 alterations to ground floor. Pinkish-orange brick with ashlar dressings and pantile roof. 2 storeys, 3 bays. C20 shop front: plinth. Steps to off-centre half-glazed entrance between bow windows. End entrance, a 6-panel door. First floor: 2-pane sashes. Second floor: 6-pane sashes. All under flat gauged brick arches and with cills. Cogged eaves. End stacks.

The significance of the listed building lies in its architectural interest, use of pinkish orange brick and pantile roof. Retention of sash windows and flat gauged brick arches and cogged eaves.

The setting is how it is experienced within the streetscene, along High Street as well as its ancillary and private space to the rear, which is now visible from the Site.

The contribution of the Site to the significance of the listed building is neutral.

In the overall hierarchy of significance value, the listed building can be attributed MEDIUM significance value.

2.5.2 14 High Street, Tadcaster – Identification of impact on significance

The scale of impact is based on these categories:

Major – Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate – Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor – Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial – Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change – No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the Site which fails to respond to the scale and layout of surrounding buildings has the potential to cause harm to significance. Conservation-led development in this location is essential for a successful development here.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to historic burgage plots. Use traditional local materials. Development to show an understanding of local distinctiveness.

2.6 10 High Street, Tadcaster.

2.6.1 10 High Street, Tadcaster – Identification of significance



Above left no.10 High Street, Tadcaster with gap site to right

A grade II listed building (list entry: 1132438). The listed building description is as follows:

House. Late C18 – early C19 with C20 alterations. Pinkish-orange brick with magnesian limestone dressings and Welsh slate roof. 3 storeys, 2 first floor window. Plinth. Quoins. Ground floor is C20. End entrance: steps to half-glazed door under oblong fanlight with glazing bars in pilastered doorcase with hood. Canted bay rises through ground and first floors with modillion hood. 2-pane sashes throughout, cills to ground floor, cill band to first floor. Wedge lintel with keystone to first floor sash, segmental heads to second floor. Double dentil cornice. End stacks.

The significance of the listed building lies in its architectural interest, use of local traditional materials including pinkish orange brick and magnesian limestone dressings. Its architectural form and fenestration contributes positively to its significance.

The setting is how it is experienced within the streetscene, along High Street as well as the space to the rear and to the side. The empty plot to the right (east) of the listed building contains a bus stop, signage, lamp post, bin, bench and timber fencing which does not contribute positively to the setting of the listed building.

The contribution of the Site to the significance of the listed building is neutral.

In the overall hierarchy of significance value, the listed building can be attributed MEDIUM significance value.

2.6.2 10 High Street, Tadcaster – Identification of impact on significance

The scale of impact is based on these categories:

Major – Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate – Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor – Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial – Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change – No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the Site which fails to respond to the scale and layout of surrounding buildings has the potential to cause harm to significance.

Conservation-led development in this location is essential for a successful development here.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to historic burgage plots. Use traditional local materials. Building forms and scale to reflect the surrounding historic buildings. Development to show an understanding of local distinctiveness.

2.7 The Ark, Kirkgate, Tadcaster.

2.7.1 The Ark, Kirkgate, Tadcaster - Identification of significance

A grade II* listed building (list entry: 1167475). The listed building description is as follows:

House now museum. C15 with later additions and alterations and 1960 rebuilding using C15 timbers and with C20 outshut to left of no particular interest. Timber-framed with whitewashed nogging underbuilt with magnesian limestone and narrow orange brick, with pantile roof. Hall and crosswing plan. 2 storey, 2 bay hall and single bay, gable ended wing. Angle buttress to left side of wing. Entrance a C20 6-panel door to centre of wing between bow windows. First floor projects slightly on corbels. Oriel window with wooden mullions. Brackets with carved male and female figures support gable. To wing C20 fixed light full-height window. Further first floor C20 window. Swept roof.



The Ark, Kirkgate, Tadcaster with development site to the rear

The significance of The Ark comprises of the historic and architectural interest with evidential and communal value. It is a local example of a 15th century timber framed structure which contains elements from different centuries due to incremental evolution. Its retention of historic fabric and historic plan form contributes substantially to its significance.

The setting of The Ark is how it is viewed along Kirkgate. The site to the rear forms part of the setting of The Ark due to being viewed in the same context and intervisibility.

The contribution of this site to the significance of The Ark is neutral.

In the overall hierarchy of significance value, The Ark can be attributed HIGH significance value.

3.2.1 The Ark, Kirkgate, Tadcaster - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the Site which fails to respond to the scale and layout of surrounding buildings has the potential to cause harm to significance. Conservation-led development in this location is essential for a successful development here.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to historic burgage plots. Use traditional local materials. Building forms and scale to reflect the surrounding historic buildings. Development to show an understanding of local distinctiveness.

3.3 The Old Vicarage, Chapel Street, Tadcaster.

3.3.1 The Old Vicarage, Chapel Street, Tadcaster - Identification of significance



A grade II* listed building (list entry: 1132450). The listed building description is as follows:

Marked on O.S.map as British Legion Club. Priests house or vicarage, now disused. Late C13 rebuilt c1500, with C18, C19 and C20 alterations and additions. Coursed limestone with ashlar dressings and breeze block and brick infill. Slate roof with a single raised coped gable and a single stone stack. Quoins. Two storey.

North-east front has an off-centre blocked chamfered doorway with to the left a single blocked window. To the right a further blocked doorway and window and beyond the blocked scar of a C19 addition. Above a small off-centre window, with two blocked windows to the left, and above a chamfered eaves band. To the right three blocked windows. North west front has a projecting external stack, and a restored round headed chamfered doorway with hood mould, and a blocked window above, plus set back to the right a single C19 chamfered cross mullion window to each floor. Southwest front has a projecting gabled wing to the left. The side wall has a tall chamfered window opening. To the right a pair of blocked doorways. And above three irregularly spaced chamfered window openings all blocked. South-east gable wall has a blocked doorway and upper doorway plus a brick gable.

Interior has three exposed stud partition walls on the first floor in the former hall range. The roof to this section has two king post trusses with triple curved braces partly infilled. The roof also retains some arch braces over the former hall. The cross wing has a single truss with arch braces a saddle and king post.

The significance of the Old Vicarage lies in its communal, historic and aesthetic values and architectural interest as a 15th century limestone constructed structure with chamfered openings, mullions and hood mould. Its communal values are linked to its use as a British Legion Club and vicarage.

The setting of the structure comprises of the surrounding green land around Chapel Street and Kirkgate. The setting includes the development site to the south. The setting allows for space around this listed building which positively contributes to its significance.

The contribution of this site to the significance of The Old Vicarage is positive due to the openness.

In the overall hierarchy of significance value, The Old Vicarage can be attributed MEDIUM significance value.

3.3.2 The Old Vicarage, Chapel Street, Tadcaster - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the Site which fails to respond to the scale and layout of surrounding buildings has the potential to cause harm to significance of The Old Vicarage which maintains a spacious setting. Conservation-led development in this location is essential for a successful development here.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to historic burgage plots and maintain openness around The Old Vicarage. Use traditional local materials which reflect the character of the area. Building forms and scale to reflect the surrounding historic buildings. Development to show an understanding of local distinctiveness.

3.4 1-3 Chapel Street, Tadcaster.

3.4.1 1-3 Chapel Street, Tadcaster - Identification of significance

A grade II listed building (list entry: 1132475). The listed building description is as follows:

Pair of houses. Mid-late C18 with later alterations. Magnesian limestone ashlar with pantile roof and brick stacks. 2 storeys, 2 first floor windows. Plinth. Steps to end entrances (alike): 6-panel doors under radial fanlights with glazing bars in recut surrounds. 2 bow windows with 12-pane sashes to centres and 4-pane lights. First floor: 18-pane and 4-pane sash, with cills. Plain band above. Moulded eaves cornice. flipped roof. Centre stacks. Interior not inspected.

There are links to the Methodist faith which contributes to the communal values of this designated heritage asset. The significance of this listed building lies in its historic and architectural interest being built from the local Magnesian limestone with ashlar lintels. The blocked openings show that this building has evolved from its original construction, these changes contribute to the understanding of its significance.

The setting comprises of the surrounding area, its position on Chapel Street and how it is viewed in context with its neighbouring properties.

The contribution of the development site to the significance of the listed building is neutral.

In the overall hierarchy of significance value, the listed building can be attributed MEDIUM significance value.

3.4.2 1-3 Chapel Street, Tadcaster - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the Site which fails to respond to the scale and layout of surrounding buildings has the potential to cause harm to significance of 1-3 Chapel Street. Conservation-led development in this location is essential for a successful development here.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to historic burgage plots and use traditional local materials which reflect the character of the area. Building forms and scale to reflect the surrounding historic buildings. Development to show an understanding of local distinctiveness.

3.5 Methodist Church and 32-36 High Street, Tadcaster.

3.5.1 Methodist Church and 32-36 High Street, Tadcaster - Identification of significance

A grade II listed building (list entry: 1296931). The listed building description is as follows:

Church, now church and office.1828 with restorations of 1981.'METHODIST CHURCH /1828 1981'on plaque. Magnesian limestone ashlar with Welsh slate roof. U-shaped on plan. Centre block of two tall storeys and four first floor window, between slightly projecting three-storey, two-bay wings. Centre plinth. Step to central round-arched entrance: six-panel double doors under radial fanlight in plain surround.C20 fixed light windows throughout, under flat voussoir arches, those to ground floor with cills and to first floor with continuous cill band. First floor ashlar band. Plaque. Wings. Plinth. End entrances: six-panel doors under radial fanlights with glazing bars in plain surrounds. Sixteen-pane sashes throughout with cills to ground and first floor and cill band to second floor, all under flat voussoir arches. Separate hipped roofs.

The significance of the Methodist Church comprises of architectural interest and communal value as a meeting place for local people. The use of Magnesian limestone, flat voussoir arches and sixteen pane sliding sash windows contributes to the significance.

The setting is the surrounding streets and how it is viewed on both Chapel Street and High Street. The listed building is viewed in the same context as the development Site and therefore it forms part of the setting of the listed building.

The contribution of this site to the significance of the Methodist Church is neutral.

In the overall hierarchy of significance value, the Methodist Church can be attributed MEDIUM significance value.

3.5.2 Methodist Church and 32-36 High Street, Tadcaster - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the Site which fails to respond to the scale and layout of surrounding buildings has the potential to cause harm to significance of the Methodist Church. Conservation-led development in this location is essential for a successful development here.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to historic burgage plots and use traditional local materials which reflect

the character of the area. Building forms and scale to reflect the surrounding historic buildings. Development to show an understanding of local distinctiveness.

3.6 Tadcaster Conservation Area.

3.6.1 Tadcaster Conservation Area - Identification of significance

The significance of the conservation area is found within the variety of buildings found within the area, many of which have strong links to the brewing industry which developed from the 18th century. The brewery buildings create strong visual anchors and landmarks within the town. The river also contributes to the significance of the conservation area.

The site is located within the conservation area boundary and has a negative impact upon the significance of the asset due to the large area of hardstanding within a compact town centre.

In the overall hierarchy of significance value, the enter asset type or name can be attributed MEDIUM significance value.

3.6.2 Tadcaster Conservation Area - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

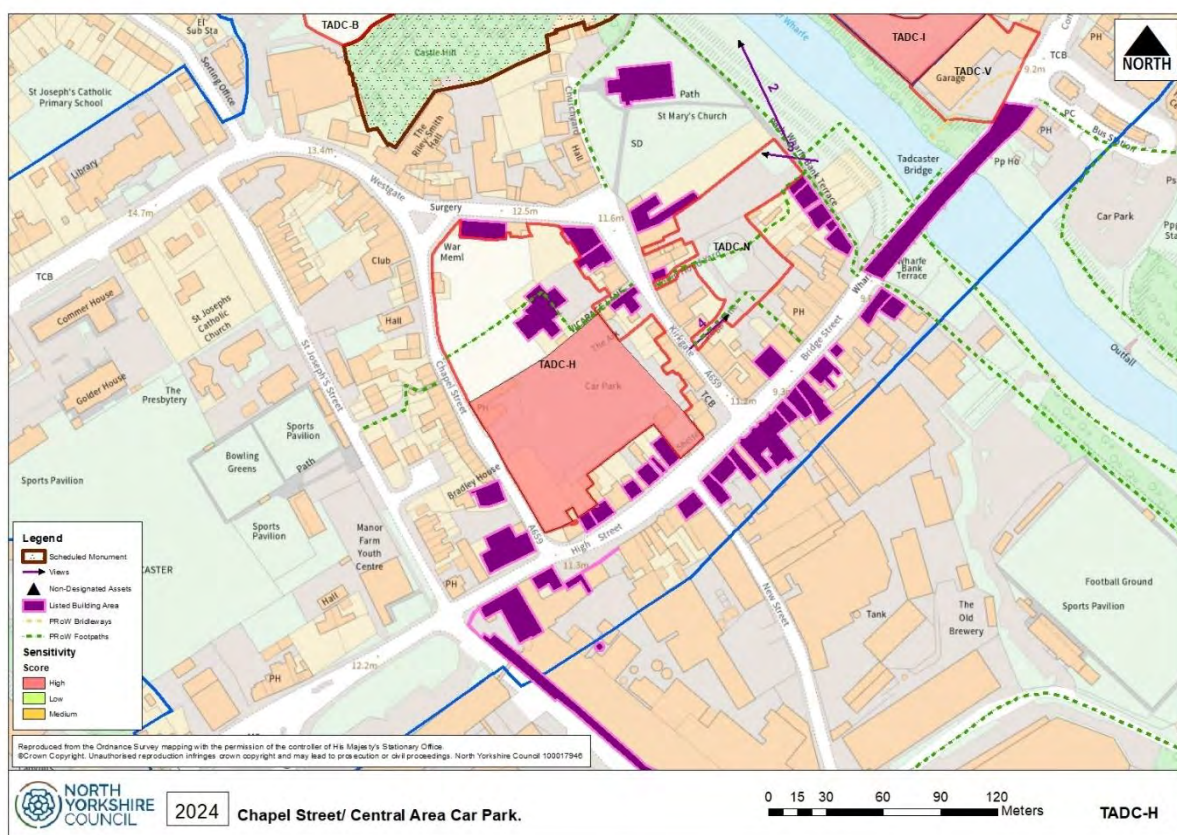
No Change - No change to assets or their settings

Summary of scale of impact: Development will alter the character and appearance of the Tadcaster Conservation Area. Potential to cause MODERATE impact to significance.

Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the Site which fails to respond to the scale and layout of surrounding buildings has the potential to cause harm to significance of the Tadcaster Conservation Area. Conservation-led development in this location is essential for a successful development here.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to historic burgage plots and use traditional local materials which reflect the character of the area. Building forms and scale to reflect the surrounding historic buildings. Development to show an understanding of local distinctiveness.



Above: Map showing areas of sensitivity of TADC-H.

4 Non-designated heritage assets

Several non-listed buildings are located nearby that form part of the Tadcaster Conservation Area, but would be classifiable as non-designated heritage assets.

4.1 Summary of impact on non-designated heritage assets

The setting of the buildings would be affected by development of the site.

5 Summary of heritage impact

The draft Conservation Area Appraisal states that a carefully designed, conservation-led development in this location will do much to enhance the character and appearance of the conservation area. Nonetheless, there remains some causes for concern with regard to the site's redevelopment. There is need for further research into the medieval burgage plots in order to understand the archaeology and to inform the appropriateness and form of any development.


If any development of the site is to be conservation-led, as the draft CAA advocates, an appropriate form and scale of development that respects, reflects and responds to these historic boundaries may be at odds with modern residential needs and standards.

As the development of the site may lead to a loss of car parking provision from this location, ancillary assessment may be required as to the potential impacts of alternative car parking elsewhere in the conservation area.

The gap site on High Street requires an in-fill development of an appropriate form and quality.

In conclusion, development has the potential to radically affect and provides the opportunity to improve the character and appearance of this part of the conservation area and the settings of the historic buildings, both listed and unlisted, that are adjacent to the site. High quality, locally distinctive design has the potential to enhance the historic environment in this location; however, equally, provision of standard forms of development that is not sensitive to local character nor informed by an understanding of the history of the site would be harmful.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

 Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: Anne Sims BSc, MA, MRTPI

Date of report: 24/06/2022

TADC-I Land at Mill Lane, Tadcaster

1. The site

Site name / location: TADC-I Land at Mill Lane, Tadcaster: located to the northern side of Tadcaster and on the northern bank of the River Wharfe.

Description of proposal: Mixed use development

Description of context: The site is on the north-east side of Tadcaster. It was formerly used partly as rail access to the historic corn mill, with some early nineteenth-century terraced housing down Rosemary Row. It is now mostly open land that wraps itself around the house and garden to the former mill, though it does include a relatively modern and indifferent industrial structure adjacent to the house. To the site's north-west and west is housing, mostly modern in date, to its south-east is in commercial use and to the south-west is the river, with the historic town beyond that.



View 1 across site from the east, looking towards the River Wharfe, St. Marys Church and Tadcaster town centre

2. Designated heritage assets

2.1 Tadcaster Conservation Area

2.2 Tadcaster Conservation Area - Identification of significance

The significance of the conservation area is found within the variety of buildings found within the area, many of which have strong links to the brewing industry which developed from the 18th century. The brewery buildings create strong visual anchors and landmarks within the town. The river also contributes to the significance of the conservation area. The character and appearance of the conservation area can be derived not just from the buildings in it but also from open space inside and outside its boundaries. Open space allows views across the conservation area and forms the setting to its historic buildings.

The site is partially located within the conservation area boundary.

In the overall hierarchy of significance value, the Tadcaster Conservation Area can be attributed MEDIUM significance value.

2.2.2 Tadcaster Conservation Area - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced, or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development will alter the character and appearance of the conservation area, as well as the setting of the designated heritage asset. Potential to cause MODERATE impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on a site which falls within the Tadcaster Conservation Area will be viewed in context with the historic streets and buildings of Tadcaster. Development failing to respond to the scale and layout of surrounding buildings and traditional building materials, has the potential to cause harm to significance.

Recommended mitigation measures / opportunities to enhance significance: Take account of historic street layouts and historic buildings past and present to ensure that the development blends in with the urban grain of Tadcaster. Development to show an understanding of local distinctiveness.

2.3 The Church of St. Mary

2.3.1 The Church of St. Mary - Identification of significance

The Church of St. Mary (list entry number: 1167462) is a Grade II* listed building. Part of the listed building description is as follows:

Early C14-early C15, taken down in 1875-77, re-erected and raised 1.25 metres to make safe from floods. Magnesian limestone ashlar with Welsh slate roof. 3-stage west tower, 3-bay aisled nave, south porch, 2-bay aisled chancel. Tower. Diagonal buttresses with off-sets surmounted by pinnacles. Round-arched west doorway in moulded surround under hood-moulds with headstops. South porch. Diagonal buttresses with offsets surmounted by pinnacles. Pointed arch on double-chamfered surround under hood-mould. Pointed doorway in double-chamfered surround. Nave and aisles. Chamfered plinth. To south aisle and north and south nave clerestory, buttresses to each bay with off-sets surmounted by pinnacles. To north aisle the buttresses are single storey.

Its significance lies in its historic, architectural and communal interest. Having origins from such an early period, use of locally sourced magnesian limestone and being a focal point for the local community makes this structure highly significant.

Its setting is its environment where it is experienced. This includes Kirkgate and its buildings as well as the riverside, where the church and its graveyard are viewed along the southern and northern banks. The development site forms part of the wider setting of the Church.

In the overall hierarchy of significance value of the Church of St Marys can be attributed high significance value.

2.3.2 The Church of St. Mary - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the site which fails to respond to the scale and layout of surrounding buildings has the potential to cause harm to significance.

Conservation-led development in this location is essential for a successful development here.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to the local character and building layout. Use traditional local materials. Development to show an understanding of local distinctiveness.

2.4 Wharfe Bridge

2.4.1 Wharfe Bridge - Identification of significance

The Wharfe Bridge (list entry number: 1132471) is a grade II listed building.

Bridge. Late C17, widened in late C18 on the upstream side. Magnesian limestone ashlar. 7 bays, each a segmental headed arch. Rounded cutwaters upstream. Solid parapet and capping, curved splayed ends with round piers at ends. Spans the River Wharfe.

Its significance is found in its architectural and functional interest. Use of traditional local materials and its continued function to cross the River Wharfe since the late 17th century ensure that the structure is of significance.

Its setting is the surrounding roads and the banks of the river which includes the development site. The development site forms part of the wider setting of the bridge.

In the overall hierarchy of significance value, the Wharfe Bridge can be attributed medium significance value.

2.4.2 Wharfe Bridge - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset by changing the appearance of it from open land to developed. Potential to cause MINOR impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the site should be positioned to ensure that the designated heritage asset can be experienced and understood. Appropriately designed landscaping will be required close to the bridge.

Recommended mitigation measures / opportunities to enhance significance: Use traditional local materials. Development to show an understanding of local distinctiveness.



View of disused railway viaduct

2.5 Disused Railway Viaduct

2.5.1 Disused Railway Viaduct - Identification of significance

A grade II listed building, the disused railway viaduct over River Wharfe (list entry number: 1167141). The listed building description is as follows:

Railway viaduct. c1846-49. Engineer probably J C Birkinshaw. For York and North Midlands Railway Co. Rough faced magnesian limestone with vermiculated millstone grit dressings and orange brick soffits. Eleven arches of which seven are land arches to west, and two to east. Two wider segmental arches span the river, rising from cutwaters which are rounded

to north and flat to south. The outer cutwaters support paired pilasters. Millstone grit voussoirs have chisel draughted margins. Band, parapet and coping. Built for a proposed more direct line between York and Leeds. Disused until 1883 when a line was laid to serve a mill on the east bank of the River Wharfe.

The significance is found in its architectural and functional interest. Built from traditional materials, its use was to carry trains across the River Wharfe.

The setting is the river and the river banks. The wider setting is the buildings found in the area. The application site forms part of the setting of this listed building.

In the overall hierarchy of significance value, the disused railway viaduct can be attributed medium significance value.

2.5.2 Disused Railway Viaduct - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

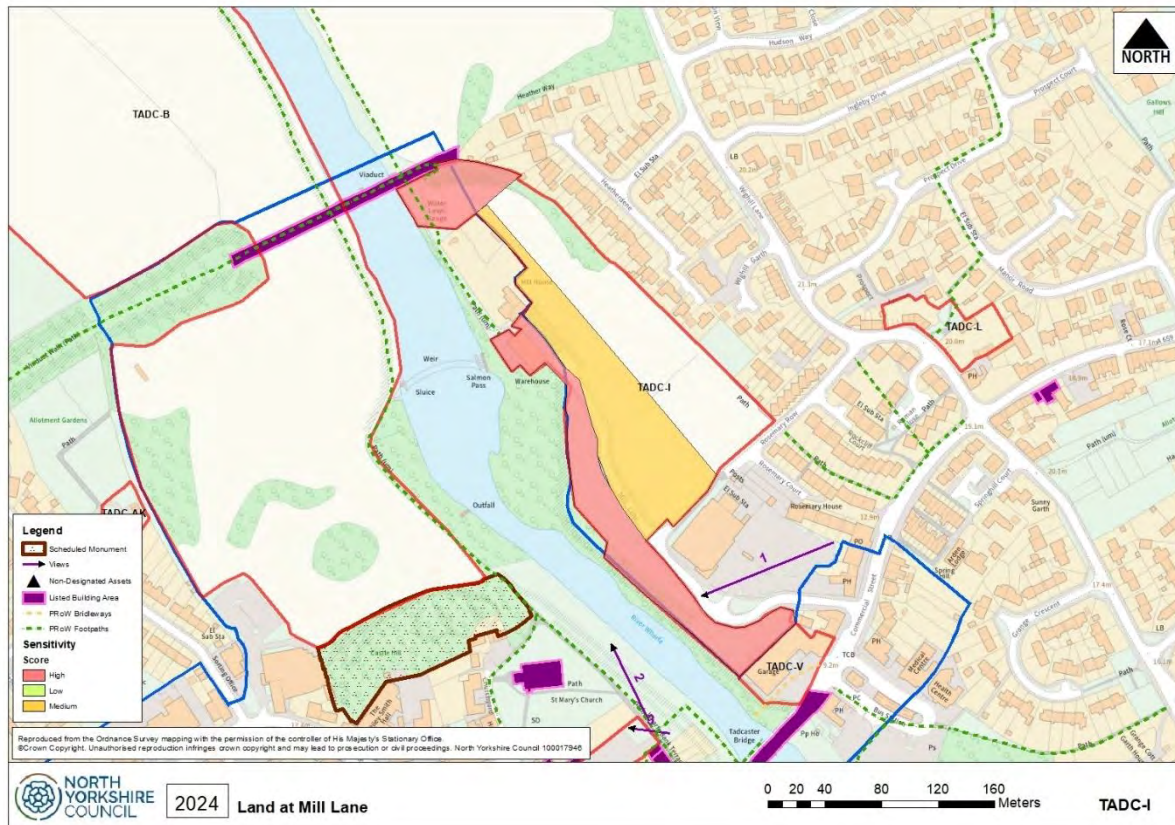
Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development on the site will alter the setting of the designated heritage asset if built within the setting. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the site should be positioned to ensure that the designated heritage asset can be experienced and understood. Appropriately designed landscaping will be required close to the bridge.

Recommended mitigation measures / opportunities to enhance significance: Keep an undeveloped area close to the asset. Use traditional local materials. Development to show an understanding of local distinctiveness.



Above: Map showing areas of sensitivity of TADC-I

3. Non-designated heritage assets

The house and garden formerly associated with the mill. Several non-listed buildings are located nearby that form part of the Tadcaster Conservation Area, but would be classifiable as non-designated heritage assets.

Summary of impact on non-designated heritage assets: The setting of the buildings would be affected by development of the site.

4. Summary of heritage impact

The three listed buildings mentioned in the assessment all count the development site as part of their setting.

The character and appearance of the conservation area is derived not just from the buildings in it but also from open space inside and outside its boundaries. Open space allows

views across the conservation area and forms the setting to its historic buildings. The character area, 'Riverside north-east' runs from the listed Wharfe Bridge to the listed disused railway viaduct and also includes part of the site, and is identified as making a strong contribution to the conservation area. That area to the north-east of this, entitled 'Mill Lane', which effectively forms the remainder of the site, is identified as making some contribution to the conservation area as it is located outside the conservation area. The CAA specifically describes this area as:


"This important survival of sloped meadow, to the east of the riverside north-east open space, provides a visual buffer between residential development off Wighill Lane and the River Wharfe.

Views of this area from the riverside south-west and motte and bailey open spaces make an important positive contribution to the character and appearance of the conservation area."

With regards to non-designated heritage assets, the house and garden formerly associated with the mill are within the conservation area and make a positive contribution to the character and appearance of the conservation area. The house and garden are immediately adjacent to the site and development on mixed use buildings is likely to have considerable impact on their setting which would affect their significance.

The draft CAA mapping indicates that important views exist from adjacent to the supermarket looking across the southern end of the site toward the river and the townscape beyond.

Given all of the above, it may be concluded that development is likely to have significant impact on the conservation area and the setting of the conservation area. The potential impact of development on the settings of the listed railway viaduct and the listed road bridge also gives cause for concern.

 Significant adverse impact on setting of designated heritage assets or involve loss of heritage asset.

Author: Anne Sims BSc(Hons), MA, MRTPI

Date of report: 30/06/2022

TADC-N Robin Hood Yard, Kirkgate, Tadcaster

1. The site

Site name / location: TADC-N Robin Hood Yard, Kirkgate, Tadcaster: located to the rear of the buildings on Kirkgate and Bridge Street.

Description of proposal: Parking

Description of context: The site is accessed from Kirkgate and is a cleared site used for occasional parking by local businesses. There are trees on the site. The current form of the site is the result of clearance of a residential terraced property and ancillary structures. To the west, south and east are historic properties which are two or three stories in height and in commercial use. To the north-west of the site is the churchyard and Church of Saint Mary and to the north-east of the site is the south-western bank of the river.

The demolition of the two houses formerly occupying the north-east corner of the site has resulted in a view of the Church of Saint Mary from the riverbank and from Wharfe Bridge.



View 3 of site from the riverbank, looking towards the rear of the buildings on Kirkgate and the Church of St. Mary's is located to the right.

2. Designated heritage assets

2.1 Tadcaster Conservation Area

2.1.1 Tadcaster Conservation Area - Identification of significance

The significance of the conservation area is found within the variety of buildings found within the area, many of which have strong links to the brewing industry which developed from the 18th century. The brewery buildings create strong visual anchors and landmarks within the town. The river also contributes to the significance of the conservation area. The character and appearance of the conservation area can be derived not just from the buildings in it but also from open space inside and outside its boundaries. Open space allows views across the conservation area and forms the setting to its historic buildings.

The site is located within the conservation area boundary and contributes to the character of the asset. The current contribution that this site makes to the significance of the designated heritage asset is negative as an underused and unmaintained space.

In the overall hierarchy of significance value, the Tadcaster Conservation Area can be attributed MEDIUM significance value.

2.1.2 Tadcaster Conservation Area - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development will alter the character and appearance of the conservation area, as well as the setting of the designated heritage asset. There is potential to improve and enhance the character and appearance of this site so that it has a more positive impact upon the Tadcaster Conservation Area. Potential to cause MAJOR impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on a site which falls within the Tadcaster Conservation Area and within the centre of the town, will be viewed in context with the historic streets and buildings of Tadcaster. The site is visible from a number of locations within the conservation area. Development failing to respond to the scale and layout of surrounding buildings and traditional building materials, has the potential to cause harm to significance. Potential to positively impact by ensuring consistent maintenance of the site and creating a more attractive space to use.

Recommended mitigation measures / opportunities to enhance significance: Use traditional materials such as stone setts and stone paving stones to enhance the space. Use of a large amount of tarmac is likely to have a harmful impact. Ensuring that the development blends in with the urban grain of Tadcaster will show an understanding of local distinctiveness.

2.2 The Church of St. Mary

2.2.1 The Church of St. Mary - Identification of significance

The Church of St. Mary (list entry number: 1167462) is a Grade II* listed building. Part of the listed building description is as follows:

Early C14-early C15, taken down in 1875-77, re-erected and raised 1.25 metres to make safe from floods. Magnesian limestone ashlar with Welsh slate roof. 3-stage west tower, 3-bay aisled nave, south porch, 2-bay aisled chancel. Tower. Diagonal buttresses with off-sets surmounted by pinnacles. Round-arched west doorway in moulded surround under hood-

moulds with headstops. South porch. Diagonal buttresses with offsets surmounted by pinnacles. Pointed arch on double-chamfered surround under hood-mould. Pointed doorway in double-chamfered surround. Nave and aisles. Chamfered plinth. To south aisle and north and south nave clerestory, buttresses to each bay with off-sets surmounted by pinnacles. To north aisle the buttresses are single storey.

It is located to the north of the site. Its significance lies in its historic, architectural and communal interest. Having origins from such an early period, use of locally sourced magnesian limestone and being a focal point for the local community makes this structure highly significant.

Its setting is its environment where it is experienced. This includes Kirkgate and its buildings as well as the riverside, where the church and its graveyard are viewed along the southern and northern banks. The development site forms part of the wider setting of the Church.

In the overall hierarchy of significance value of the Church of St Marys can be attributed high significance value.

2.2.2 The Church of St. Mary - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the site which fails to respond to the scale and layout of surrounding buildings has the potential to cause harm to significance. Conservation-led development in this location by using traditional stone, is essential for a successful development here.

Recommended mitigation measures / opportunities to enhance significance: Respect, reflect and respond to the local character and building layout. Use traditional local materials. Development to show an understanding of local distinctiveness.

2.3 32 Kirkgate

2.3.1 32 Kirkgate - Identification of significance

32 Kirkgate (list entry number: 1132441) is a grade II listed building.

Mid C18 with C20 additions. Pinkish-brown brick with ashlar plinth and cills and pantile and stone slate roof. 2 storeys, 3 bays. Plinth. Central C20 door under segmental head. To right: many-paned C18 bow window with dentil cornice. C20 bow window to left. First floor: casements to end bays, blocked opening to centre, all under segmental arches of gauged brick and with cills. Ashlar coping to right. End stack.

Its significance is found in its architectural and historic interest Use of traditional local materials.

Its setting is Kirkgate and how it is viewed along the street. Rear buildings are viewed from the riverside. The development site is visible from the rear and forms part of the setting of the property.

In the overall hierarchy of significance value, 32 Kirkgate can be attributed medium significance value.

2.3.2 32 Kirkgate - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development will alter the setting of the designated heritage asset by changing the appearance of it from open land to developed. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development on the site should use traditional stone to improve the appearance of the site and improve the setting of the listed building.

Recommended mitigation measures / opportunities to enhance significance: Use traditional local materials. Development to show an understanding of local distinctiveness.

2.4 11 Wharf Bank Terrace

2.4.1 11 Wharf Bank Terrace - Identification of significance

A grade II listed building, 11 Wharf Bank Terrace (list entry number: 1132448). The listed building description is as follows:

Early C19 with late C20 restorations. Pinkish-orange brick in Flemish bond with ashlar dressings and Welsh slate roof. 2 storeys, 2 bays. Ashlar plinth and step to end entrance. C20 6-panel door under oblong fanlight with glazing bars in C20 pilastered doorcase with brackets supporting hood. Full-height, canted bay to right, the centres are 18-pane sashes with 8-pane sashes to sides, otherwise 12-pane sash, all under ashlar wedge lintels, those to

first floor painted to resemble brick, and with ground and first-floor ashlar cill band. Double dentilled eaves band. Ashlar kneeler and coping to right. End stack.

The significance is found in its architectural and historic interest and its position beside the river. Built from traditional materials.

The setting is the rest of Wharf Bank Terrace and the river and the river banks. The application site is located to the rear and is visible from the rear of the listed building. The two sites are viewed in context with each other which makes the site form part of the setting of the listed building.

In the overall hierarchy of significance value, 11 Wharf Bank Terrace can be attributed medium significance value.

2.4.2 11 Wharf Bank Terrace - Identification of impact on significance

The scale of impact is based on these categories:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is minimal.

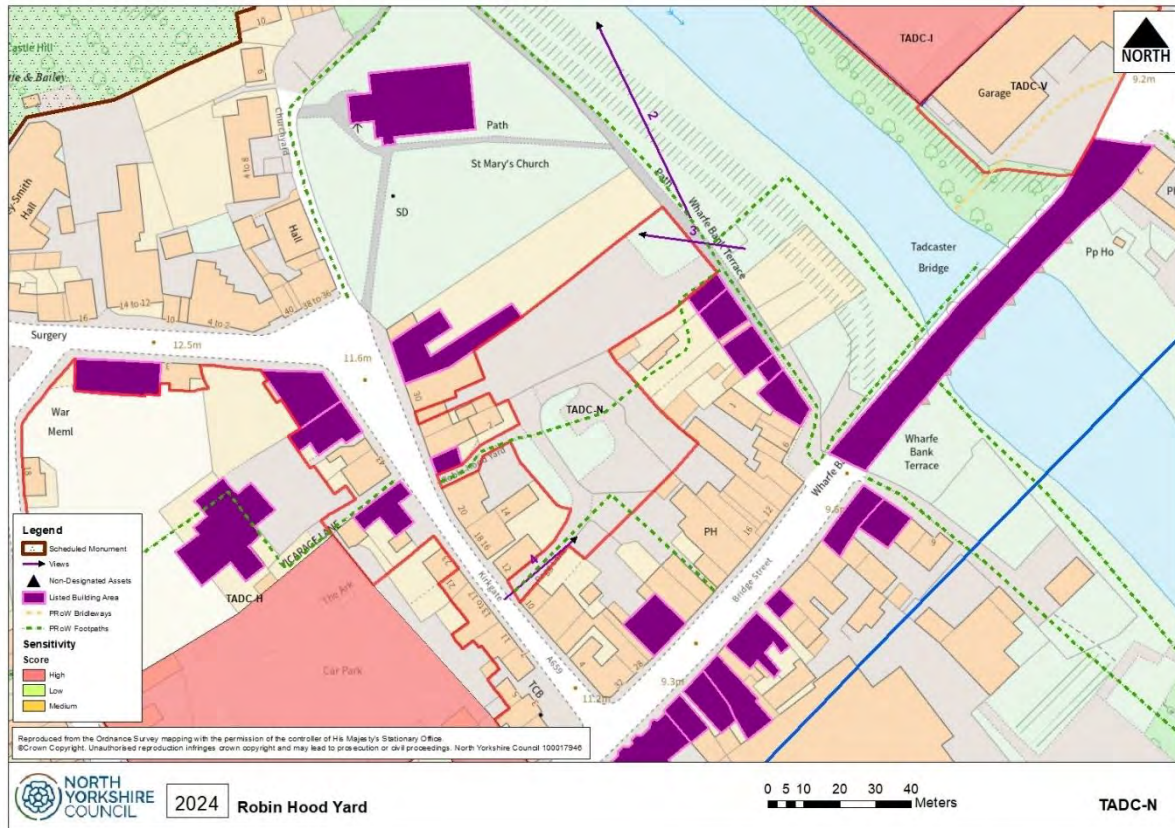
Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Development on the site will alter the setting of the designated heritage asset if built within the setting. Potential to cause MODERATE impact to significance through development within the setting. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: Development to use traditional stone such as setts and flags which are more in keeping with the historic setting of the listed building.

Recommended mitigation measures / opportunities to enhance significance: Use traditional local materials. Development to show an understanding of local distinctiveness.



Above: Map showing areas of sensitivity of TADC-N

3. Non-designated heritage assets

Non listed buildings within the Tadcaster conservation area and which bound the site. Some of which would be classifiable as non-designated heritage assets.

Summary of impact on non-designated heritage assets: The setting of the buildings would be affected by development of the site.

4. Summary of heritage impact

The site is located in the town centre and historically would have had two dwellings on the plot. The draft Tadcaster Conservation Area Appraisal states that future proposals will need to respect the existing public rights of way through the site, the mature tree, the setting of the riverside open space, the views from the bridge and the east bank of the river.


As set out above, several non-listed buildings are located nearby that form part of the Tadcaster Conservation Area, but would be classifiable as non-designated heritage assets.

Any further clearance around this site will be deemed to be harmful to the significance of the designated heritage asset of the Tadcaster Conservation Area.

Issues with the site include creating a goods access due to the tight access points.

A more formal regime of car-parking to Robin Hood Yard, and an increased amount of parking, would be inconsistent with the conservation area's ambient character, given the generally enclosed nature of the site and its proximity to the riverside open space.

Use of traditional materials including stone is an essential requirement.

 Significant adverse impact on setting of designated heritage assets or involve loss of heritage asset.

Author: Anne Sims BSc(Hons), MA, MRTPI

Date of report: 30/06/2022

ULLE-K Land East of Bell Lane, Ulleskelf

1. The site

Site name / location: ULLE-K Land East of Bell Lane, Ulleskelf

Description of proposal: Residential development. Exact form unknown.

Description of context: The site is an agricultural field on the settlement's eastern side and adjoining its southern edge. This eastern side of the village still largely retains the historic, linear grain (with significant development having been added in the 20th century further to the west of the settlement on its southern side). The site is defined by Bell Lane to the west and Boggart Lane to the south. The field is edged with low hedging to each of these roads, except for a small gap at their junction. Further agricultural fields are located to the west (associated with a farmstead located off Main Street) and open countryside to the south. There is possibly some form of light industrial use on land to the east of the site, though this is mostly screened by planting. Beyond the site's northern boundary are the rear gardens of residential properties on Ings Lane (the location of Manor Farm Cottages and some later 20th century houses), the most westerly of which are those relating to the listed building.

2. Designated heritage assets

2.1 Manor Farm Cottages, grade II listed

2.1.1. Manor Farm Cottages - Identification of significance

Manor Farm Cottages is a grade II listed building (list entry no. 1148391). The building has not been inspected but the list entry describes it as dating from the early to mid-18th century but with possible earlier origins. Built of local red/brown brick, with plain tile roof and two courses of stone slates at the eaves. Gabled to the left hand side with tabling and kneeler stones but hipped at the right hand side where it returns to the west elevation (with gable terminating the south elevation). Two storeys with a three bay frontage. Windows are 4 over 4 sashes but with a horizontal emphasis (which possibly indicates that they date from the earlier 20th century).



Above: View 1 showing Manor Farm Cottages to the LH side and the Site visible to its rear (taken at the junction between Bell Lane and Ings Road).

Historic OS maps indicate that there was an associated farmstead immediately to its east (U-shaped range of buildings visible) but that this was lost after 1950 (modern dwellings present in this location). Originally a house, at the time of listing and also currently the building is split into two dwellings. Mid-19th century OS maps show that the house was extended to the rear by the 1890s and that outbuildings present to the south were reduced in number to just one (and this one having been removed by 1950). Evidence of the previously larger curtilage is indicated by a boundary wall that extends beyond the curtilage of the listed building to the south and encloses the field for a short length.

The significance of the listed building derives from its architectural form, materials and detailing, its retention of historic fabric, the way in which it has changed over time, the retention of a garden, with boundary walls, to its west (historic location) and the way in which it can be experienced (its setting) both in context with the linear settlement and also its rural context to the south.

In the overall hierarchy of significance value, the Manor Farm Cottage can be attributed **MEDIUM** significance value.



Above: View 2 looking north along Bell Lane, towards Manor Farm Cottages (site visible as field to right hand side).

The site comprises fields that historic maps indicate was associated with the farmstead associated with the listed building. With the loss of the farm buildings, the ability to read the relationship between the former farm use has been lost; however, the rural and undeveloped nature of the land allow the rear of the buildings to be experienced on approach to the settlement which give a sense of the former relationship and generally provides an attractive setting to both the listed building and the settlement in this location (allowing the linear grain of the settlement to be read). Several viewpoints are available that allow the listed building to be viewed in context with the site and wider rural context.

2.1.2. Manor Farm Cottages - Identification of impact on significance

Definition of scale of impact:

Major - Considerable change affecting the special character of assets including their setting, where the significance of those elements is substantially harmed or lost.

Moderate - Change affecting the special character of assets, where elements which contribute to their significance and their setting are harmed.

Minor - Limited change to elements that contribute to the significance of assets and their setting, where harm is of a low level.

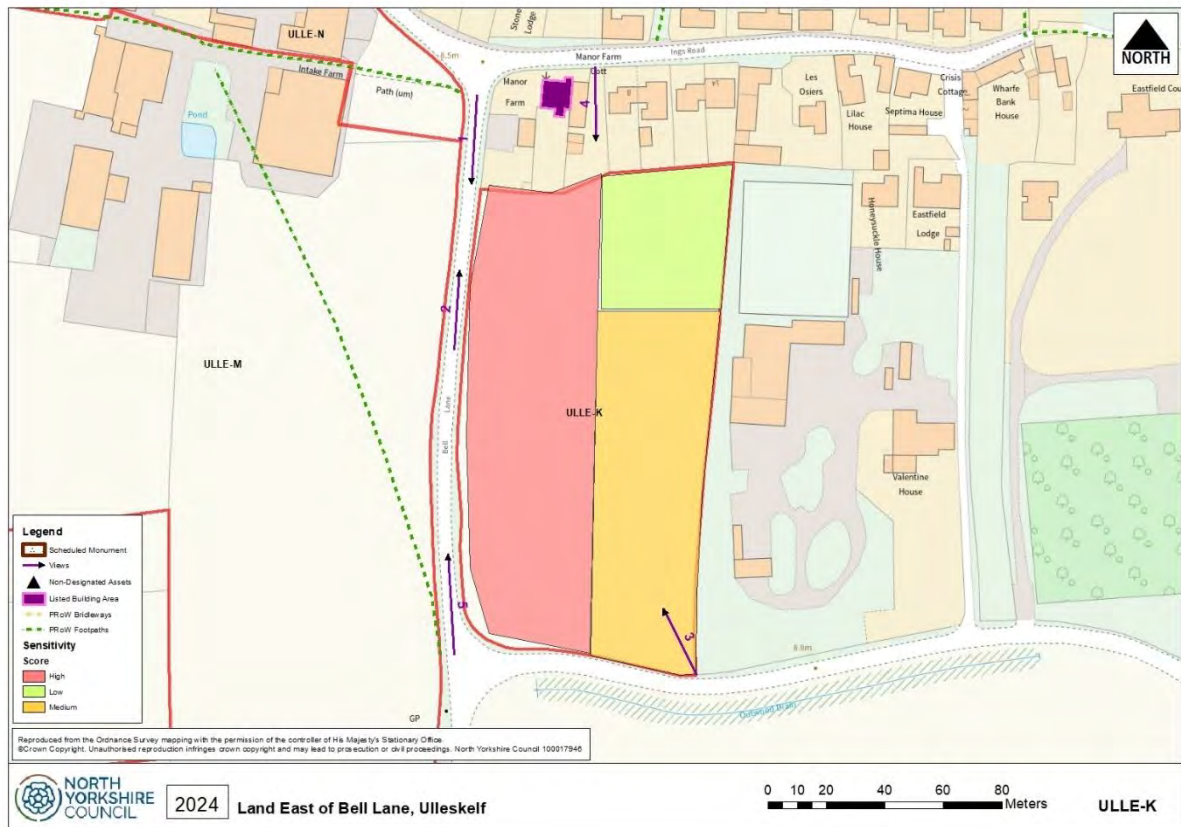
Beneficial - Elements which contribute to the significance of assets, including their setting, are enhanced or better revealed.

No Change - No change to assets or their settings

Summary of scale of impact: Potential for moderate impact to setting, leading to overall MINOR impact to significance. Potential to reduce level of impact using mitigation measures.

Reason for conclusions: In general, full development of the site for housing would be contrary to the historic, linear grain of the settlement.

Residential development of the site to a standard form will impact on the setting of the listed building by changing the rural setting to a suburban one. The more important elevations of the listed building are the north and the west, i.e., those fronting onto Ings Road and Bell Lane, respectively. Looking southwards from Ings Road, down the left-hand side of the listed building, there are long views over the development site to the landscape beyond. Views from the adjacent road junction, past the right-hand side of the listed building to the proposed development site are partially screened by current planting on this edge but for the most part, the site is highly visible in this view. Introduction of houses fronting Bell Lane will very likely obscure from view the rear of the listed building on approach to the village.




Above: Map analysis showing areas of sensitivity of ULLE-K in relation to the setting of Manor Farm Cottages.

Recommend mitigation: In order to minimise the harm to the setting of the listed building it is recommended that development be substantially set back from both the curtilage of the listed building and the Bell Lane frontage; also, by positioning new development on the site in such a way as to retain some aspect of the view identified from Ings Road (respecting, as far as is possible, the identified areas of sensitivities). The rural character of Bell Lane should be maintained (with retention of hedgerow and grass verge). Standard, suburban forms of development should be avoided. Buildings should be designed so that they are locally distinctive (in terms of aspects such as scale, massing, form, materials, details). Provision of development in a form that reflected a historic farmstead may help to integrate development here, however, it is unlikely to be able to be applied successfully over the whole site area (and would need to be restricted to a single development of approximately farmstead scale to the south of the Ings Road houses (in the area of lesser sensitivity).

3. Summary of heritage impact

The development of the site in its entirety for housing would result in a fundamental change of character of the land that forms part of the setting of the listed building, leading to harmful impacts. Generally, locating housing on the site would be out of character with the historic, linear grain of the settlement that is still evident in this part of the settlement. Mitigation, including a reduction of the extent of development, would help to reduce the level of harmful impacts.

With regards to the impact on the designated heritage asset, the following score is attributed to the proposed development:

 Development impacts on a designated heritage asset or its setting and mitigation measures are necessary.

Author: Emma Gibbens BSc MSc IHBC

Date of report: 26th May 2022